Remote Meeting Instructions for the August 4, 2020, City Council Meeting:

In order to comply with all health orders and State guidelines to stop the spread of the COVID-19 Coronavirus, ***no physical location, including the City Council Chambers, will be set up for viewing or participating in this Council Meeting.***

You can view this Council Meeting by following the instructions below to watch the YouTube live stream. By utilizing this option to view the meeting, you will not be able to provide live input during the meeting. To provide live input, see the "In real time" instructions near the bottom of this page.

- From your laptop or computer, click the following link or enter it manually into your Web Browser: (www.youtube.com/CityofGreeley)
- Clicking the link above will take you to the City of Greeley's YouTube Channel.
- Once there, you will be able to view the meeting!

Citizen input and public comment for items appearing on this agenda as public hearings/quasi-judicial are valuable and welcome!

Anyone interested in participating and sharing public comments have a few of options:

Via email? – Submit to cityclerks@greeleygov.com
All comments submitted this way will be read into the record at the appropriate points during this meeting in real time. Comments can be submitted up to and throughout this meeting.

Via traditional Mail? - Address to the Greeley City Clerk's Office, 1000 10th Street, Greeley, CO 80631
All written comments must be received no later than the day of the meeting. Again, written comments received by mail will also be read into the record in real time.

In real time? – Click here
Clicking the link above will give you access to the live meeting where you will become a virtual audience member and be able to speak under Citizen Input on items not already on the agenda or during a scheduled public hearing.

Please visit the City's website at https://greeleygov.com/government/council to view and download the contents of the August 4, 2020, City Council Meeting. You are also welcome to call the City Clerk's Office at 970-350-9740 with any special needs or questions that you may have.

City Council Agenda

August 04, 2020 at 6:00 PM

This meeting will be conducted remotely. (See instructions on previous page to view the YouTube live stream.)

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Recognitions and Proclamations
5. Citizen Input
6. Approval of the Agenda
7. Reports from Mayor and Councilmembers
8. Initiatives from Mayor and Councilmembers

Consent Agenda

The Consent Agenda is a meeting management tool to allow the City Council to handle several routine items with one action.

Council or staff may request an item be "pulled" off the Consent Agenda and considered separately under the next agenda item in the order they were listed.

9. Approval of the City Council Proceedings of July 21, 2020
10. Acceptance of the Report of the July 14, 2020, City Council Worksession
11. Introduction and first reading of an ordinance changing the official zoning map of the City of Greeley, Colorado from PUD (Planned Unit Development) to C-H (Commercial High Intensity) zoning for 38.811 acres of property located south of 10th Street, west of 83rd Avenue, and north of 12th Street, known as the Two Rivers Marketplace Rezone
12. Consideration of a Resolution to approve a Donation Agreement for a new East Arena Expansion Project and Stage at Island Grove Regional Park
13. Consideration of a Resolution authorizing an Intergovernmental Agreement with Weld County to participate in Weld County's November 3, 2020, General Election

Mayor
John Gates

Councilmembers

Tommy Butler
Ward I

Brett Payton
Ward II

Michael Fitzsimmons
Ward III

Dale Hall
Ward IV

Kristin Zasada
At-Large

Ed Clark
At-Large

A City Achieving Community Excellence
Greeley promotes a healthy, diverse economy and high quality of life responsive to all its residents and neighborhoods, thoughtfully managing its human and natural resources in a manner that creates and sustains a safe, unique, vibrant and rewarding community in which to live, work, and play.

End of Consent Agenda

14. Pulled Consent Agenda Items

15. Public hearing to consider a change of zone from R-H (Residential High Density) to PUD (Planned Unit Development) for 20.662 acres of property located west of north 35th Avenue and south of C Street, known as the Stoneybrook Subdivision Filing No. 1 Block 1, Lot 4 Rezone, and public hearing and final reading of an ordinance changing the official zoning map to reflect the same

16. A public hearing to consider establishment of a Preliminary PUD (Planned Unit Development) that would allow a mobile home community on a 20.662-acre parcel located west of north 35th Avenue and south of C Street

17. COVID-19 Update

18. Scheduling of Meetings, Other Events

19. Consideration of a motion authorizing the City Attorney to prepare any required resolutions, agreements, and ordinances to reflect action taken by the City Council at this meeting and at any previous meetings, and authorizing the Mayor and City Clerk to sign all such resolutions, agreements and ordinances

20. Adjournment

Council Agenda Summary

August 4, 2020

Agenda Item Number 1

Title
Call to Order

Council Agenda Summary

August 4, 2020

Agenda Item Number 2

Title
Pledge of Allegiance

Council Agenda Summary

August 4, 2020

Agenda Item Number 3

Title
Roll Call

Summary
Mayor Gates
Councilmember Butler
Councilmember Payton
Councilmember Hall
Councilmember Fitzsimmons
Councilmember Clark
Councilmember Zasada

Council Agenda Summary

August 4, 2020

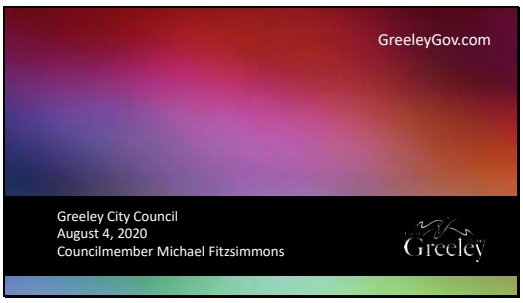
Agenda Item Number 4

Title
Recognitions and Proclamations

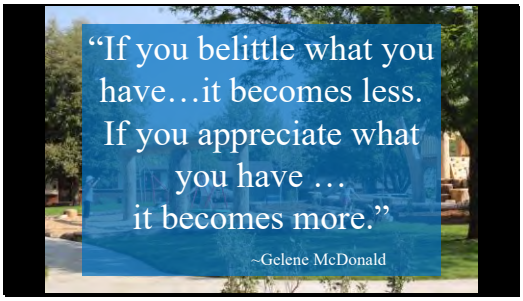
Summary
Councilmember Fitzsimmons will present the What's Great about Greeley Report.

Attachments
August 4, 2020 What's Great about Greeley Report

Slide 1



Slide 2



At each Council Meeting, we recognize the people, organizations and businesses that make Greeley Great. Tonight it's my turn to announce the recognitions. I'll start with a quote, "If you belittle what you have, it becomes less. If you appreciate what you have, it becomes more." With these announcements we are appreciating the good work of our residents, showing support for their efforts, and encouraging everyone to share the word that Greeley is Great.

Slide 3

Congratulations to Mayor Pro Tem Dale Hall for being elected by the Colorado Municipal League executive board to serve as secretary-treasurer for 2020-2021. CML is a nonprofit, nonpartisan organization established in 1923 and represents the interests of 270 cities and towns.

Slide 4

Island Grove Village Apartments in Greeley has been recognized by the U.S. Department of Energy and the U.S. Department of Housing and Urban Development for achieving its energy-savings goal as a partner in the nationwide Better Buildings Challenge. The Better Building Challenge is a voluntary leadership initiative that asks multifamily property owners and managers to make a commitment to improving the energy efficiency of their property by 20 percent over 10 years. Island Grove Village reached their goal in a mere 6 years and is one of only nine to achieve the national award.

Slide 5

And that's What's Great about Greeley.

Council Agenda Summary

August 4, 2020

Agenda Item Number 5

Title
Citizen Input

Summary
During this 15 minute portion of the meeting, anyone may address the Council on any item of City Business appropriate for Council consideration that is not already listed on this evenings agenda. Citizen input will be received from comments submitted to the City Clerk's Office via email or mail as well as from members of our virtual webinar audience. All comments will be limited to 3 minutes and must include the name and address of the person submitting the comments for the record.

Council Agenda Summary

August 4, 2020

Agenda Item Number 6

Title
Approval of the Agenda

Council Agenda Summary

August 4, 2020

Agenda Item Number 7

Title
Reports from Mayor and Councilmembers

Summary
During this portion of the meeting any Councilmember may offer announcements or reports on recent events and happenings. These reports should be a summary of the Councilmember's attendance at assigned board/commission meetings and should include key highlights and points that may require additional decision and discussion by the full Council at a future time.

Council Agenda Summary

August 4, 2020

Agenda Item Number 8

Title
Initiatives from Mayor and Councilmembers

Summary
During this portion of the meeting any Councilmember may bring before the Council any business that the member feels should be deliberated upon by the Council. These matters need not be specifically listed on the Agenda, but formal action on such matters shall be deferred until a subsequent Council meeting.

Initiatives will generally fall into three categories:

1) A policy item for Council deliberation and direction for a future Worksession, Committee meeting, or regular/special Council meeting;

2) A request to the City Manager for information or research;

3) A request involving administrative processes or procedures.

At the close of this portion of the meeting, the Mayor will confirm Council's consensus that the individual requests be pursued.

Attachments
Status Report of Council Initiatives and Related Information

Greeley City Council

Status Report of Council Initiatives

Council Request	Council Meeting, Worksession, or Committee Meeting Date Requested	Status or Disposition (After completion, item is shown one time as completed and then removed.)	Assigned to:
Councilmember Butler requested that the Mayor, City Council, and the City's Executive Team participate in racial sensitivity training.	June 16, 2020	An item has been scheduled for the July 28th Worksession to discuss possibilities/topics for training.	Becky Safarik
Councilmember Clark requested that staff look into potentially having Council take different police trainings/ride alongs (which include implicit bias, de-escalation, shoot/don't shoot, etc.) in addition to the racial sensitivity training.	July 7, 2020	An item has been scheduled for the July 28th Worksession to discuss possibilities/topics for training.	Becky Safarik
Councilmember Clark requested that the Mayor and Council receive a tutorial on Open Records Law.	July 7, 2020	An item has been scheduled for the August 11th Worksession to provide Council with a primer of representation by the City Attorney's Office and the Colorado Open Records Act Protocol.	Doug Marek Cheryl Aragon
Councilmember Clark requested to have a meeting with City Attorney Doug Marek to receive information from the City Attorney's Office regarding the City Attorney's Office role/who they represent as well as a discussion of communication issues and timeliness of response between the City Attorney's Office and Councilmember Clark.	July 7, 2020		

Consent Agenda

August 4, 2020

The Consent Agenda is a meeting management tool to allow the City Council to handle several routine items with one action.

Once the Clerk has read each Consent Agenda item into the record, along with Council's recommended action, Council or staff may request the item be "pulled" off the Consent Agenda and considered separately under the next agenda item in the order they were listed.

The Consent Agenda includes Items No. 9 through 13 and their recommended actions.

Council's Recommended Action
To approve Items No. _____ through _____ or
To approve Items No. _____ through _____ with the exceptions of No.(s) _____

Council Agenda Summary

August 4, 2020

Agenda Item Number 9

Key Staff Contact: Cheryl Aragon, Interim City Clerk, 350-9743

Title:

Approval of the City Council Proceedings of July 21, 2020

Summary:

A meeting of the City Council was held on July 21, 2020, in Council's Chambers located at 1001 11th Avenue.

Decision Options:

1. To approve the proceedings as presented; or
2. Amend the proceedings if amendments or corrections are needed, and approve as amended.

Council's Recommended Action:

A motion to approve the City Council proceedings as presented.

Attachments:

July 21, 2020 Proceedings

City of Greeley, Colorado
CITY COUNCIL PROCEEDINGS
July 21, 2020

1. Call to Order

Mayor John Gates called the meeting to order at 6:00 p.m., in the Council's Chambers at the City Center South Campus, 1001 11th Avenue.

2. Pledge of Allegiance

Mayor Gates led the Pledge of Allegiance to the American Flag.

3. Roll Call

Jerry Harvey, Assistant City Clerk, called the roll. Those present were Mayor John Gates and Councilmembers Tommy Butler, Michael Fitzsimmons, Dale Hall, Brett Payton and Kristin Zasada.

Councilmember Clark was excused.

4. Recognitions and Proclamations

Councilmember Zasada presented the What's Great About Greeley Report.

5. Citizen Input

Gavin Hamilton, Greeley resident, thanked Councilmember Butler for attending a recent art event for artists of color. He continued by expressing his concerns about the priorities of this Council. He also voiced his concern that the Mayor and all Councilmembers, except Councilmember Butler, skipped the recent art event and other cultural events but have made time to show up to events that they want to go to like the Back the Blue event. He also invited Council to attend a blanket and clothes drive for Greeley's homeless community.

Councilmember Payton expressed issues with some of the points made by Mr. Hamilton.

Steven Grant, Evans Resident, thanked Council for leading the community and spoke about issues related to the Governor's mask mandate. He asked that Greeley go along with Weld County and not enforce the mandate.

Councilmember Butler expressed issues with Mr. Grant's statements and explained that we must wear masks to curb this virus.

Steve Teets, Greeley resident, echoed what Mr. Grant said. He also voiced concerns about the future of water in Greeley and questioned whether there will be enough water for growth in the future.

Samuel Johnson, Greeley resident, questioned whether it would help to have Councilmembers go on a police ride along and to complete the implicit bias trainings. He noted that officers will be on their best behavior while Council were there.
Val Leal-Whitehead, Greeley resident, explained that from a nursing perspective wearing a mask helps prevent the virus. She continued by explaining that these rules are in place to keep the Intensive Care Units

in hospitals from filling up, and she asked that the City support the Governor's mandate and encourage people to wear masks.

Karen Kataline, Greeley resident, said that she is proud to live in Greeley and Weld County because it is a champion for freedom and personal responsibility. She asked that the City follow Weld County's lead.

Jenna Young, Greeley resident, asked that Councilmember and members of the Police Department show up to cultural events. She also spoke about race issues and the importance of wearing masks.

Gavin Hamilton, requested more time to clarify his earlier statements. He explained that there was no attack on Councilmember Payton directly, and he clarified that he just wants Council to show support for black and brown people.

6. Approval of Agenda

The agenda was approved upon noting additional documentation for Item No. 14.

7. Reports from Mayor and Councilmembers

Mayor Gates appointed Councilmember Zasada as the Council Liaison to the Human Relations Commission.

8. Initiatives from Mayor and Councilmembers

Councilmember Butler proposed an initiative related to reinstating local campaign finance limits, but it died for lack of consensus.

*** * * * Consent Agenda * * * ***

9. Approval of the City Council Proceedings of July 7, 2020

The Council action recommended was to approve the Proceedings.

10. Introduction and first reading of an Ordinance changing the official zoning map of the City of Greeley, Colorado, from R-H (Residential High Density) to PUD (Planned Unit Development) for approximately 20.662 acres of property, located west of North 35th Avenue and south of "C" Street, known as the Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Rezone

The Council action recommended was to introduce the ordinance and schedule the public hearing and final reading for August 4, 2020.

*** * * * End of Consent Agenda * * * ***

Councilmember Payton moved, seconded by Councilmember Zasada to approve the items on the Consent Agenda and their recommended actions. The motion carried: 6-0 (Councilmember Clark excused)

11. Pulled consent agenda items

No items were pulled from the Consent Agenda.

12. A public hearing to consider a Final PUD Amendment to allow for a 6,751 square foot building addition on a parcel of property located at 1121 M Street

Kira Stoller, Planner, provided background on the rezone. She continued by describing the location and site map, describing the site plan, and describing the building elevations and plans as well as photos. She also highlighted the approval criteria and concluded with the recommendation to Council noting the unanimous passage by the Planning Commission.

Mayor Gates opened the public hearing at 6:41 p.m.

Steve Teets, asked for and received clarification on what building/property this plan impacts.

Edwin Grant, Greeley resident, voiced some general concerns about how far away Weld County buildings are from the core of the City.

The public hearing was closed 6:44 p.m.

Councilmember Fitzsimmons moved, seconded by Councilmember Butler to approve the amendment to the Weld County Business Park Final PUD to allow for construction of a new 10,266 square foot building at 1399 North 17th Avenue. The motion carried: 6-0 (Councilmember Clark excused)

13. Strategic Housing Plan Progress/Update

Benjamin Snow, Economic Health & Housing Director, and Brad Mueller, Community Development Director, provided brief introductions to this topic. Mr. Mueller went on to discuss the NoCo Housing Now group noting that it exists to work on Northern Colorado housing issues and described the general make-up of the group.

Mr. Snow highlighted strategies and implementation of the City's strategic housing plan. He also highlighted what Economic Health & Housing as well as the Greeley Urban Renewal Authority have done so far this year regarding housing. He continued by describing the map that is used to determine potential lots/properties for future housing projects, and he noted that they have engaged with many different companies that do a variety of different types of building/construction. He concluded by noting different marketing improvements.

Mr. Mueller discussed a chart that shows the list of the top 20 things Greeley can do related to housing affordability and highlighted a number of projects/work items that Community Development has been and will be working on in the future.

In response to a question from Councilmember Zasada, Mr. Snow explained that updates on the projects listed by Mr. Mueller will be coming in the future.

14. COVID-19 Update

Lieutenant Gregg Cobb, Greeley Fire Department, provided the weekly COVID-19 Update. He explained that there were no significant cases since the briefing last week and noted that trends show a flattening of curve. He went on to describe the 3-day average chart which show positive indicators and a dropping positivity rate; highlighted Greeley/Weld County cases noting that the City's positive cases have increased and that they are keeping an eye on it; and discussed hospitalization numbers and quarantined first responders noting a flattening of the numbers after a brief increase. He also described the Fire department call data. Lieutenant Cobb concluded by explaining that the alternative care facilities are ready to use if needed and added that testing facilities in City are operating as normal.

Jenna Young, Greeley resident, requested that more of this information being online. Lieutenant Cobb explained that the data being presented is Weld County's data adding that there is a push for Weld County to put a better dashboard online.

Mr. Snow provided an update on the Greeley Area Recover Fund (GARF) and highlighted the data on the GARF dashboard.

Councilmember Butler inquired as to the current enforcement of the Governor's mask mandate. Police Chief Mark Jones explained that the Police Department is doing their best to educate people, but now does not think the mandate is enforceable. He added that there are also concerns about dealing with people who become irate. He concluded by explaining that, if a dispute occurs, the police will respond adding that the enforcement of the mandate is really up to individuals and business owners.

Mayor Gates expressed his support for the Police Department's current stance on the mask mandate.

In response to a follow up questions from Councilmember Butler, Chief Jones explained that the Police Department is not responding to calls where someone is calling to complain that individuals are not wearing a mask. However, the Police will respond to altercations or conflicts that might arise when members of the public confront each other regarding the mask mandate.

Mayor Gates asked for Council's input regarding returning to all remote meetings for Council meetings and Worksessions until further notice.

Councilmember Zasada expressed her support for this idea.

Councilmember Butler also expressed his support for returning to all remote meetings, but asked that Council release a statement in favor of the mask mandate and encouraging people to wear masks.

Mayor Gates expressed his belief that it is best to wear masks for health and safety reasons.

Councilmember Zasada asked that the Communications and Engagement team do another release encouraging the public to wear masks.

Consensus was reached by Council to return to all remote meeting for Council meetings and Worksessions until further notice.

15. Appointment of applicants to the Civil Service Commission, Commission on Disabilities, Construction Trades Advisory & Appeals Board, Downtown Development Authority, Judicial Review Board, Museum Board, and Youth Commission

Civil Service Commission – Staff directed to recruit for additional applicants

Commission on Disabilities – Olivia Cytrynowicz

Construction Trades Advisory & Appeals Board – Don Hobart

Downtown Development Authority – Cooper Anderson

Downtown Development Authority (Ex-Officio) – Mike Ketterling

Judicial Review Board – Jason Hill and Gerald Shadwick

Museum Board – Mark Moody

Youth Commission – Myrna Weis-Calderon

16. Scheduling of meetings, other events

There were no additional meeting or events scheduled.

17. Consideration of a motion authorizing the City Attorney to prepare any required resolutions, agreements, and ordinances to reflect action taken by the City Council at this meeting and at any previous meetings, and authorizing the Mayor and City Clerk to sign all such resolutions, agreements, and ordinances

Councilmember Payton moved, seconded by Councilmember Butler to approve the above authorizations, and the motion carried: 6-0 (Councilmember Clark excused)

18. Adjournment

There being no further business to come before the Council, Mayor Gates adjourned the meeting at 7:34 p.m.

_____

John Gates, Mayor

_____

Jerry Harvey, Assistant City Clerk

Council Agenda Summary

August 4, 2020

Agenda Item Number 10

Key Staff Contact: Cheryl Aragon, Interim City Clerk, 970-350-9743

Title:

Acceptance of the Report of the July 14, 2020, City Council Worksession

Summary:

A City Council Worksession was held on July 14, 2020, in Council's Chambers located at 1001 11th Avenue.

Decision Options:

1. To accept the Report as presented; or
2. Amend the Report if amendments or corrections are needed, and accept as amended.

Council's Recommended Action:

A motion to accept the Report as presented.

Attachments:

July 14, 2020 Report

City of Greeley, Colorado
COUNCIL WORKSESSION REPORT
July 14, 2020

1. CALL TO ORDER

The Worksession was called to order at 6:00 p.m. via a remote Zoom Meeting between City Staff and the City Council. It was livestreamed on the City of Greeley's YouTube Channel.

2. PLEDGE OF ALLEGIANCE

Mayor Gates led the Pledge of Allegiance to the American Flag.

3. ROLL CALL

Cheryl Aragon, Interim City Clerk, called the roll. Those present were Mayor John Gates and Councilmembers Tommy Butler, Ed Clark, Michael Fitzsimmons, Dale Hall, Brett Payton and Kristin Zasada.

4. REPORTS FROM MAYOR AND COUNCILMEMBERS

Councilmember Hall reported that the Colorado Municipal League will be doing a first-ever virtual conference August 25-27, 2020. He noted that this virtual conference will include various sessions and a virtual vendor hall.

Mayor Gates read a previously written statement supporting the webinar on race relations sponsored by the City's Human Relations Commission entitled "Tell Me More" to be held via Zoom on July 15th beginning at 6:00 p.m. He encouraged all community members to participate in this important discussion.

Mayor Gates referenced an email from the City Manager regarding the rezone for the Martin Marietta site. He noted that many have been fielding calls about this rezone.

Councilmember Clark noted that the same thing happened in 2015. He wants to be commenting on matters like this and should be briefed on these matters.

Brad Mueller, Community Development Director, acknowledged the need to better read Council's engagement on this. Staff regularly comments on referrals from various jurisdictions, but this should have been routed to Council for feedback. Better instincts should have prevailed.

He went on to say that staff offered a series of various observations, but should have been more sensitive to interest on this matter.

Councilmember Clark stated that the opportunity to have some industrialized rezoning is important in this area as a means of growing Northern Colorado.

Mayor Gates indicated he has talked with most of the Weld County Commissioners and that he has been asked to speak before the Commissioners on this.

Councilmember Hall expressed an opinion that the City staff could have peddled its' comments a bit softer than it did.

Councilmember Clark advertised a Back the Blue event set for July 15th at the Greeley Police Department Headquarters.

5. COVID-19 UPDATE

Dan Frazen, Emergency Operations Manager, provided a COVID-19 update noting an increase in cases since the last update, as well as an increase in deaths. He provided State numbers, as well as hospitals numbers. Weld County is at 3,070 positive cases, increase of 167; and confirmed fatalities remain the same at 91. He noted that only 1 first responder is in quarantine.

Alternative Care facilities stand ready as needed and the FEMA grant application was filed.

He went on to review testing and positivity data from the Colorado Department of Public Health and Environment, as well as current hospital data across the state numbers. He then reviewed the charts of daily case data, hospital data, and calls for service numbers.

He responded to questions from Councilmembers about some of the numbers today versus when Weld was at its' peak. He noted that we are in a good place.

Greeley Area Recovery Fund

Ben Snow, Economic Health and Housing Director, reported on and reviewed the GARF Dashboard. He stated that it is going at a pretty steady pace within the program and that 181 applications total have been received. Of those, he noted that 158, or 87 percent, are from Greeley, while the balance are Evans at 10 percent and other communities at 3 percent.

He went on to state that the Fund has awarded 86 grants totaling $252,228 and 13 awaiting additional information.

He announced the next phase of this Fund noting that $50,000 was set aside to issue modest marketing grants. He noted that there will be no financial requirements with these dollars, just written documentation for how they will use these grant dollars and they should be used toward the impact of COVID-19.

6. COST RECOVERY MODEL FOR CULTURE, PARKS AND RECREATION PROGRAMS AND SERVICES

Andy McRoberts, Culture, Parks, and Recreation Director, was present to introduce Jaimey Sabback with 110 Percent, Inc. who offered a brief overview of cost recovery specific for the Greeley Culture, Parks and Recreation Department. She introduced Nick Venditty, with Amilia, who partnered with her on this project through some proprietary software for local governments.

She discussed what cost recovery is and noted that it is challenging municipalities to best invest resources for better impacts as an alternative to subsidy in an effort to have the impacts on the community that they wish to have.

She shared some general philosophy about tax investment/revenue enhancement. She noted that taxpayers many times do not understand how their tax dollars are actually being spent, and shared that she will continue to work toward this cost recovery model with City staff moving forward.

Councilmember Hall inquired about how the private sector is factored in, and Ms. Sabback indicated that it is not factored in, but there may be some elements that could be addressed in policies about competition and cooperation.

Councilmembers expressed appreciation for this thorough presentation.

7. 2019 FINANCIAL AUDIT REPORT AND COMPREHENSIVE ANNUAL FINANCIAL REPORT

Robert Miller, Interim Finance Director, introduced the City's Auditor, Tyra Litzau, Audit Director with ACM, who provided a summary of the work done to conduct this years' audit. She shared the interesting way the audit was done this year in a remote environment in light of COVID-19. She expressed thanks to Mr. Miller and his staff for working so well in this unusual way to get the audit done in a timely manner.

She proceeded to provide a high-level review of the audit process and reports, as well as financial statement highlights that included statements of revenues, expenses and changes in net position.

Mr. Miller and Ms. Litzu were thanked for their hard work and presentation on the Comprehensive Annual Financial Report.

8. SHORT-TERM RENTAL REGULATIONS FOLLOW-UP

Brad Mueller, Community Development Director, reminded Council that this item was initially discussed with Council back in March. He introduced Caleb Jackson, Planner, and Kris Pickett, a local engineer who worked on the Task Force relative to Short-term Rental Regulations.

Mr. Jackson reported on existing conditions as it relates to short-term rentals as they relate to needed changes in regulations. He noted shifts in visitor lodging and an increase in dwelling units that were traditionally used for long-term living into short-term stays for visitors. He also reviewed uses of various lodging uses by zoning category.

He highlighted the reasons for regulating short-term rentals as neighborhood character, nuisances, conversion of dwelling units, effects on formal visitor lodging, unrealized tax revenue, tension with neighbors, and disillusionment in the area.

Mr. Jackson went on to review the three-tier approach in trying to build regulations that work in the community and reviewed requirements and recommendations for regulations amongst the three Tiers.

Mr. Pickett shared his experiences serving on the Task Force, a group of about 10 community and business members, and noted the give and take that has to go into reviewing this type of proposed regulation. He noted that some sort of licensing would be reasonable along with any regulation that moves forward. He added that Task Force was generally in agreement with the Tiers presented.

Councilmember Zasada expressed agreement with the Tiers presented, and inquired about the incentive for an owner to actually register as a short-term rental. Additionally, she asked about lawsuits in other municipalities that have come up as a result of a municipality trying to regulate and enforce these regulations.

Mr. Mueller advised that generally, people do tend to be pretty compliant. He also shared that many have expressed that they would like the registration process just simply for recognition that they are trying to operate within the rules and regulation. Also, neighbors do take note and do not hesitate to contact the City about violators noting outside agencies that exist to watch and monitor short-term rental websites that exist could also be utilized.

As for the lawsuit question, Mr. Mueller indicated that there probably has been somewhere at some time, but regulating this type of land use is not significantly different from the regulation of other land uses.

Doug Marek, City Attorney, added that there have been some law suits, but municipality decisions have been generally upheld.

Councilmember Clark indicated that the three Tiers look good, but that it is unenforceable.

Mr. Mueller went on to review the Code Compliance process for warning, education, citations, etc.

Councilmember Payton shared that there is some inconsistent enforcement, and it would become a he-said, she-said situation, and some neighbors will complain and some will not. So, enforcement will end up being inconsistent. He added that we may be chasing a problem that does not exist.

Councilmember Fitzsimmons stated that he struggles with Tier 1 and 2, but can see some of Tier 3. He expressed that he is struggling with so much regulation, and is unsure how that would be enforced.

Mr. Mueller noted that this seems to fit well into existing business licenses models in place, it creates equity in accumulating the lodging tax, and balances the concerns that neighbors have with these being unregulated right now.

With regard to reporting revenue, Mr. Miller shared that they would be responsible to pay the lodging tax rate and sales and use tax on the materials that they use to operate their facility.

There did not seem to be consensus to follow the recommendation of staff and the Task Force, even though that is typically what Council would like to be able to do.

Councilmember Clark indicated again that this would not be enforceable and that he would not be able to support it.

Councilmember Butler shared that most of Council seemed to want to do something and would support an amendment to move forward. Tiers 1 and 2 seemed challenging.

Councilmember Zasada stated that she would support moving forward with something knowing that it is imperfect and a lot may not get solved with more regulation.

There was no consensus to move forward with recommendations of the Task Force; no consensus to support the basic framework as presented with necessary amendments; and no consensus to direct staff to pursue other alternatives.

Ultimately, Councilmembers expressed consensus to table this item so that it can be revisited at a future time.

9. SCHEDULING OF MEETINGS, OTHER EVENTS

No additional meetings or events were scheduled.

10. ADJOURNMENT

There being no further business to come before the Council, Mayor Gates adjourned the meeting at 8:25 p.m.

_____

Cheryl Aragon, Interim City Clerk

Council Agenda Summary

August 4, 2020

Agenda Item Number 11

Key Staff Contact: Brad Mueller, Community Development Director, 970-350-9786

Darrell Gesick, Planner, 970-350-9822

Title:

Introduction and first reading of an ordinance changing the official zoning map of the City of Greeley, Colorado from PUD (Planned Unit Development) to C-H (Commercial High Intensity) zoning for 38.811 acres of property located south of 10th Street, west of 83rd Avenue, and north of 12th Street, known as the Two Rivers Marketplace Rezone

Summary:

The City of Greeley is considering a request to rezone a 38.811-acre tract from PUD (Planned Unit Development) to C-H (Commercial High Intensity) zoning. The subject site is located south of 10th Street, west of 83rd Avenue, and north of 12th Street. If the rezoning request is approved, the applicant intends to develop the site with commercial uses.

The Planning Commission will consider this request on July 28, 2020.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	No
If yes, what is the initial, or, onetime impact?	
What is the annual impact?	
What fund of the City will provide Funding?	
What is the source of revenue within the fund?	
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	
Is this grant onetime or ongoing?	
Additional Comments:	

Legal Issues:

Consideration of this matter is a quasi-judicial process.

Other Issues and Considerations:

None noted.

Applicable Council Priority and Goal:

Consistency with Comprehensive Plan and Development Code standards.

Decision Options:

1) Introduce the ordinance as presented; or
2) Amend the ordinance and introduce as amended; or
3) Deny the ordinance; or
4) Continue consideration of the ordinance to a date certain.

Council's Recommended Action:

A motion to introduce the ordinance and schedule the public hearing and final reading for August 18, 2020.

Attachments:

Ordinance
Vicinity Map
Planning Commission Summary (Staff Report) (July 28, 2020)

CITY OF GREELEY, COLORADO

ORDINANCE NO. ____, 2020

CASE NO. ZON2019-0009

AN ORDINANCE CHANGING THE OFFICIAL ZONING MAP OF THE CITY OF GREELEY, COLORADO, FROM PUD (PLANNED UNIT DEVELOPMENT) TO C-H (COMMERCIAL HIGH INTENSITY) ZONING FOR 38.811 ACRES OF PROPERTY LOCATED SOUTH OF 10TH STREET, WEST OF 83RD AVENUE, AND NORTH OF 12TH STREET, KNOWN AS THE TWO RIVERS MARKETPLACE REZONE

BE IT ORDAINED BY THE CITY COUNCIL OF GREELEY, COLORADO:

Section 1. The following described property located in the City of Greeley is hereby changed from the zoning district referred to as PUD (Planned Unit Development) to C-H (Commercial High Intensity) zoning for 38.811 acres of property in the City of Greeley, County of Weld, State of Colorado:

See attached legal description

Section 2. The boundaries of the pertinent zoning districts as shown on the official zoning map are hereby changed so as to accomplish the above-described zoning changes, and the Mayor and City Clerk are hereby authorized and directed to sign and attest an entry which shall be made on the official zoning map to reflect this change.

Section 3. This ordinance shall become effective five (5) days after its final publication as provided by the Greeley City Charter.

PASSED AND ADOPTED, SIGNED AND APPROVED, THIS _____ DAY OF _____, 2020.

ATTEST: THE CITY OF GREELEY

_____ _____

City Clerk Mayor

Legal Description

A parcel of land, being a part of Tracts 1, 2, 4 and Right-of-Way of Highway 34 and the Right of Way of 83rd Avenue as dedicated on the plat of Stephens Fam Minor Subdivision as recorded September 28, 2017 as Reception No. 4339799 of the Records of the Weld County Clerk and Recorder (WCCR), and a portion of the Right-of-Way of 86th Avenue and 12th Street as dedicated in the plat of The Trails at Sheep Draw Subdivision as recorded March 7, 2018 as Reception No. 4380737 of the Records of the WCCR, all situate in the Northeast Quarter (NE1/4) of Section Seven (7) and the Southeast Quarter (SE1/4) of Section Six (6), Township Five North (T.5N.), Range Sixty-six West (R.66W.) of the Sixth Principal Meridian (6th P.M.), City of Greeley, County of Weld, State of Colorado and being more particularly described as follows:

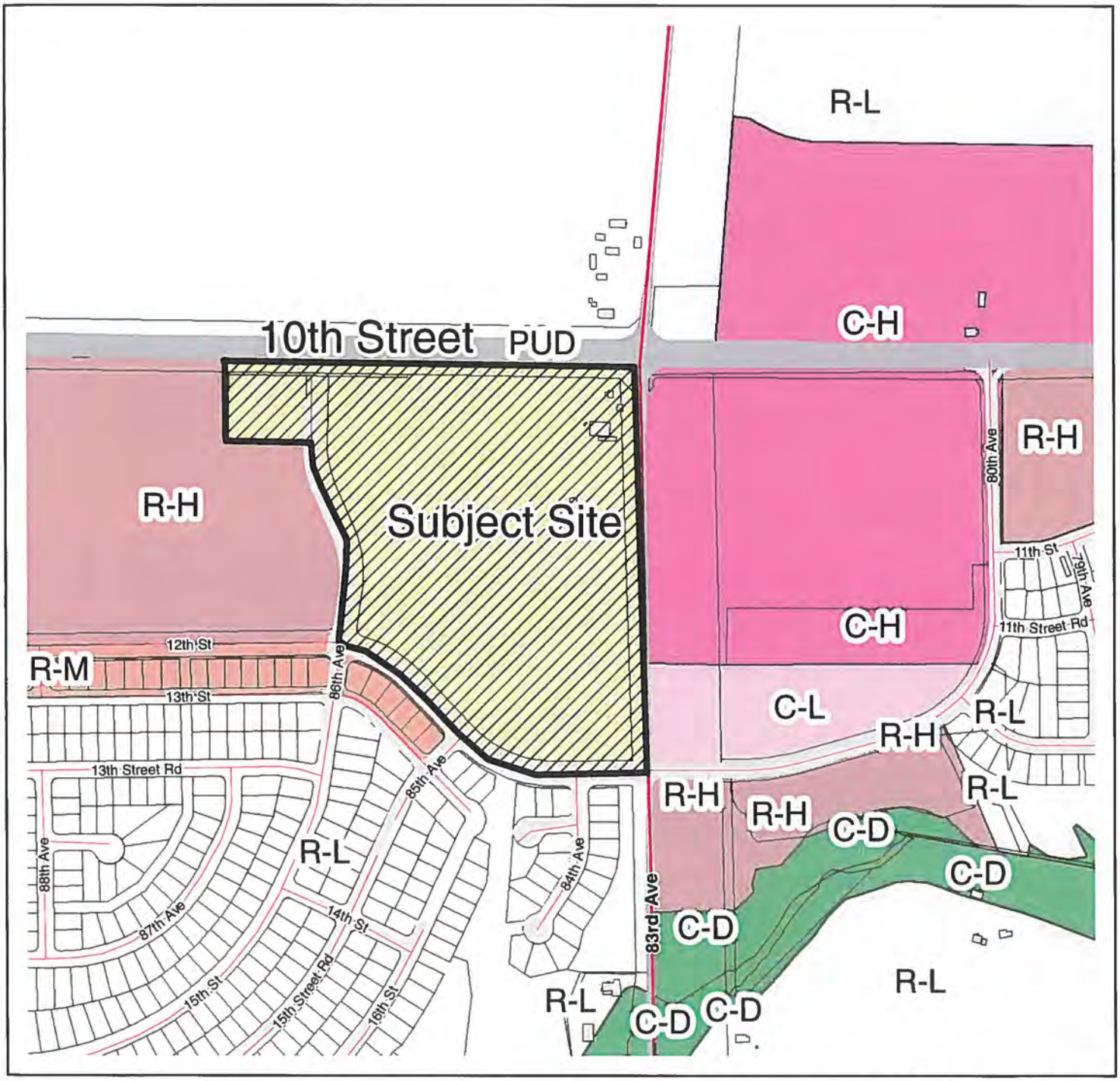
BEGINNING at the Northeast corner of said Section 7 and assuming the North line of said NE1/4 as bearing South 89°22'50" East, as platted per said Reception No. 4339799, a distance of 2650.71 feet and with all other bearings contained herein relative thereto;

THENCE South 01°02'57" East along the East line of said NE1/4 a distance of 1464.31 feet to an extension of the centerline of said 12th Street;
Thence along the centerline of 12th Street and an extension thereof the following four courses:
THENCE South 88°57'03" West a distance of 353.61 feet to a Point of Curvature (PC);
THENCE along the arc of a curve concave to the Northeast a distance of 366.99 feet, having a Radius of 450.00 feet, a Delta of 46°43'38" and is subtended by a Chord that bears North 67°41'08" West a distance of 356.91 feet to a Point of Tangency (PT);
THENCE North 44°19'19" West a distance of 271.08 feet to a PC;
THENCE along the arc of a curve concave to the Southwest a distance of 288.77 feet, having a Radius of 450.00 feet, a Delta of 36°46'02" and is subtended by a Chord that bears North 62°42'20" West a distance of 283.84 feet to the centerline of said 86th Avenue;
Thence along the centerline of 86th Avenue the following five courses:
THENCE North 08°54'39" East along a line non-tangent to the aforesaid curve a distance of 194.77 feet to a PC;
THENCE along the arc of a curve concave to the Southwest a distance of 210.89 feet, having a Radius of 375.00 feet, a Delta of 32°13'20" and is subtended by a Chord that bears North 7°12'01" West a distance of 208.13 feet to a PT;
THENCE North 23°18'34" West a distance of 178.52 feet to a PC;
THENCE along the arc of a curve concave to the Northeast a distance of 156.61 feet, having a Radius of 375.00 feet, a Delta of 23°55'44" and is subtended by a Chord that bears North 11°20'42" West a distance of 155.48 feet to a PT;
THENCE North 00°37'10" East a distance of 8.55 feet to an extension of the South line of said Tract 1;
THENCE North 89°22'50" West along said South line and an extension thereof a distance of 321.27 feet to the West line of Tract 1;
THENCE North 00°37'10" East along said West line and an extension thereof a distance of 350.00 feet to a line parallel with and 50.00 feet North of, as measured at a right angle, said North line of the NW1/4 of Section 7;

THENCE South 89°22’50” East along said parallel line a distance of 1512.25 feet more or less to the East line of said SE1/4 of Section 6;
THENCE South 01°02’57” East along said extension line a distance of 50.02 feet to the POINT OF BEGINNING.

Said described parcel of land contains 38.811 Acres, more or less (±).

Zoning/Vicinity Map
Two Rivers Marketplace Rezone



USR2019-0009

Legend
- Structures
- Weld Parcels
- Road Centerline
- Roads

0 500 1,000 Feet

PLANNING COMMISSION SUMMARY

ITEM: Rezone property from PUD (Planned Unit Development) to C-H (Commercial High Intensity) Zone District

FILE NUMBER: ZON2019-0009

PROJECT: Two Rivers Marketplace Rezone

LOCATION: South of 10th Street, West of 83rd Avenue, and North of 12th Street

APPLICANT: Dan Hull, LandOne Engineering, LLC, on behalf of Martha, Tom, Doug, and John Stephens

CASE PLANNER: Darrell Gesick, Planner III

PLANNING COMMISSION HEARING DATE: July 28, 2020

PLANNING COMMISSION FUNCTION:
The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council regarding the application in the form of a finding based on the review criteria in Section 18.30.050(c)(3).

EXECUTIVE SUMMARY
The City of Greeley is considering a request to rezone approximately 38.811 acres of land, including adjacent right-of-way, from PUD (Planned Unit Development) to C-H (Commercial High Intensity) zone district. The subject site is located south of 10th Street, west of 83rd Avenue, and north of 12th Street (see Attachments A, B, C, and D).

A. REQUEST
The applicant is requesting approval to rezone 38.811 acres of land from PUD to C-H zone district (see Attachment C). The applicant intends to develop the subject, or market the site for commercial uses.

B. STAFF RECOMMENDATION
Approval.

C. LOCATION **Abutting Zoning:**
North: Weld County Agricultural
South: R-M (Residential Medium Density) and R-L (Residential Low Density)
East: C-L (Commercial Low Intensity) and C-H (Commercial High Intensity)
West: R-H (Residential High Intensity)

Surrounding Land Uses:
North: 10th Street and Agricultural with One Single-Family Use
South: 12th Street and Single-Family
East: 83rd Avenue, Undeveloped Land, Multi-Family, and Oil and Gas
West: 86th Avenue and Multi-Family

Site Characteristics:
The northeast portion of the subject site currently has the last remaining remnants of the farm homestead. The property slopes down from the north to the south. The North Boomerang Ditch is located in the southeast part of the site and runs from the south to the northeast and there is a natural gas line that runs from the north to the south of the subject site. The remainder of the site is undeveloped and is no longer being farmed. Infrastructure, such as, streets, curb and gutter, sidewalks, and utilities were installed in 12th Street and 86th Avenue when the Trails at Sheep Draw Subdivision began development to the south and west in the 2017 (see Attachment E).

D. BACKGROUND

The PUD zoned area was annexed and zoned as part of the Golden Triangle Second Annexation in 1985 (File No. Z 2:85) (see Attachment A). At that time, a conceptual plan was established which allows for residential uses at four (4) dwelling units per acre. The PUD was amended in 1997 (PUD File No. 11:97) to separate the larger Golden Triangle PUD that involved land, including this site, and land further to the west, into smaller, more manageable PUD's. None of the land uses allowed changed within the 1985 Golden Triangle PUD as a result of the amendment. In 2017, a portion of the PUD to the west and south of the subject site was rezoned to a residential development known as The Trails at Sheep Draw (File No. Z 11:16). The remaining PUD is what is left of the overall PUD in this area.

With this application, the property owner is proposing to rezone 38.811 acres from PUD to C-H for the purpose of developing the site with commercial uses. At this time, no particular use has been proposed and it is the applicant's intent to have the site available for commercial development in the future. The applicant would be required to submit an application for a subdivision to create the lots in order to develop the subject site.

APPROVAL CRITERIA

Development Code Section 18.30.050 Rezoning Procedures

For the purpose of establishing and maintaining sound, stable, and desirable development within the City, the rezoning of land is to be discouraged and allowed only under circumstances provided for in this Section [of the Code]. This policy is based on the opinion of the City Council that the City's zoning map is a result of a detailed and comprehensive appraisal of the City's present and future needs regarding land use allocation and other zoning considerations, and, as such, should not be amended unless to correct manifest errors or because of changed or changing conditions in a particular area of the City in general.

The review criteria found in Section 18.30.050(c)(3) of the Development Code shall be used to evaluate the zoning amendment application.

a) Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

Staff Comment: Originally, the subject site was annexed and zoned PUD, in 1985. The subject site has been utilized for agricultural purposes for many years.

The most notable development in the area has been the Trials at Sheep Draw single-family and multi-family uses to the south and west of the subject site. In addition, other notable development in the area would be Boomerang single-family and multi-family residential uses located east of the subject site, east of 83rd Avenue. Mountain Shadows and Pebble Brook single-family developments, located south and west of the subject site, have been developing out since the early 2000's.

The stated need for the rezone is to accommodate a commercial development, which the applicant intends to either develop or market for a variety of commercial uses.

Keeping the subject property under the current zoning district, which is only limited to residential uses, would limit opportunities. With the proposed C-H zone district, a variety of commercial uses would be allowed, included residential, allowing for more flexibility in development options. Planning staff concludes that it is in the public's interest to rezone the subject property to encourage development.

This request complies with this criterion.

b) Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

Staff Comment: The PUD zoning has been in place for more than fifteen (15) years without development resulting.

Development trends in Greeley have shown that development is continuing to move from east to west. The rezone request would allow for commercial uses to support the proposed and existing residential development in the area.

Although the current PUD zoning district is not obsolete, the proposed zoning would allow more flexibility in regards to development potential in the future. This request complies with this criterion.

c) Are there clerical or technical errors to correct?

Staff Comment: There are no clerical or technical errors to correct.

This criterion is not applicable to this request.

d) Are there detrimental environmental impacts, such as flood plains, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: There is an irrigation ditch, a 60-foot natural gas line that runs north/south on the property, and plugged and abandoned oil and gas facilities on the subject site. Those impediments will be taken into account at the time of subdivision and should not impact the rezone request.

This request complies with this criterion.

e) Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The proposed rezoning is not necessary in order to provide land for a community related use.

This criterion is not applicable to this request.

f) What is the potential impact of the proposed rezoning upon the immediate neighborhood and the city as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, and pedestrian systems and parks and recreational facilities)?

Staff Comment: The area to the north of the subject site is primarily rural in character. The area to the west and south of the subject site is residential in nature, and the area to the east is undeveloped, commercial zoned land, with residential beyond that.

The impacts on the immediate neighborhood and city as a whole should be minimal. Any potential noise created by future development would be regulated by the Municipal Code. The appropriate buffering and perimeter treatment would be evaluated as part of the subdivision process, which would lessen any potential visual impacts. City services, such as water and sewer lines, are adjacent to the subject site. Services that would be considered inadequate through the Adequate Public Facilities and Service

Standards analysis would be addressed with the future subdivision. The City would evaluate those services for adequacy as part of the subdivision. This would include fire, parks, police, sanitary sewer, water, stormwater, and transportation. Additional information regarding City services can be found further in this report in Sections E, F, and G.

The proposal complies with this criterion.

g) Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with the applicable zoning overlay requirements?

The following City of Greeley Imagine Greeley Comprehensive Plan policies apply to this request:

Comprehensive Plan Policy Objective ED-2.4, Business Attraction
Attract and retain business and industry that align with the City's target industries and support economic diversity.

Staff Comment: Approving the rezone would attract commercial business to the western part of town that should support local residential users in the area.

This request complies with this Comprehensive Plan policy.

Comprehensive Plan Policy Objective GC-2.5, Neighborhood Centers
Promote neighborhood centers – small scale retail areas providing basic commercial goods and services – to locate within a walkable distance of residences, usually a quarter-mile or less.

Staff Comment: The proposed rezone has the potential to provide goods and services at a small-scale neighborhood level. Although not a true neighborhood center, the subject site is within a walkable distance to a newly developed single-family and multi-family development. The rezone would allow for commercial development that would have the potential for providing goods and services to the area.

This request complies with this Comprehensive Plan policy.

h) What is the potential impact of the proposed rezoning upon an approved Zoning Suitability Plan for the property?

Staff Summary: The proposed Zoning Suitability Plan submitted with this application demonstrates, on a conceptual level, that the site should be able to develop in accordance with the Development Code (see Attachment F).

E. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The subject property is known as Tract 1 and 2, Stephens Farm Minor Subdivision (Rec. No. 4339799, File No. S 34:16). A subdivision application would be necessary to create the lots that the applicant proposes to develop.

2. HAZARDS

The North Boomerang Ditch is located in the southeast portion of the site and runs from the south to the northeast. In addition to the ditch, a 60-foot natural gas line runs north/south on the property and plugged and abandoned oil and gas facilities are on the subject site. Those impediments would be taken into account at the time of subdivision and should not impact the rezone request. Staff is unaware of any other potential hazards that presently exist on the site.

3. WILDLIFE

A small portion of the subject site is located within an area identified for moderate impact according to the City's Areas of Ecological Significance Map. Section 18.48.050 of the Development Code would require a biologist report to be provided to the City for review when a subdivision is submitted. The City of Greeley Natural Lands Coordinator and/or other appropriate reviewers would determine at the time of subdivision submittal if there are any significant impacts to wildlife or plants. The rezoning request should not impact wildlife in the area.

4. FLOODPLAIN

The proposed rezone boundary is not located within the 100-year floodplain or floodway, according to the adopted Federal Emergency Management Administration (FEMA) flood data.

5. DRAINAGE AND EROSION

When Tract 3 of Stephens Farm Minor Subdivision was developed as The Trails at Sheep Draw, a final drainage report was reviewed and evaluated by the City of Greeley Engineering Development Review Division in September 2017, and included analysis for the area within the Two Rivers Marketplace property boundary. Tract 1, is included in the analysis for Basin MF and Tract 2 is included in the analysis for Basin O-PUD. The intent of the drainage design within the report was to provide regional detention as part of the Trails at Sheep Draw Subdivision. The report includes analysis of Two Rivers Marketplace (Basins MF and O-PUD) and provides guidance for stormwater runoff when it is developed. At the time the report was created and accepted by the City, the proposed site was zoned PUD. References to the PUD zoning within the report is interchangeable with the proposed zoning of C-H.

The Boomerang Ditch Company has a buried water pipeline on the north side of 12th Street from 86th Avenue that flows east to the open ditch, which then flows northeast to 83rd Avenue. The Ditch Company would be included in the review of future land use development and supporting construction drawings.

6. TRANSPORTATION

The proposed land use project would be developed in two phases: Phase 1would be located on Tract 1 of Stephens Farm Minor Subdivision and could be developed with a convenience store and gas pumps. Phase 2 would be located on Tract 2 of Stephens Farm Minor Subdivision and referenced as full build-out. The full project build-out of the Two Rivers Marketplace rezone would impact the traffic flow in the area. The proposed land use project is anticipated to generate approximately 17,146 average daily trips, 1,076 a.m. peak hour trips, and 1,581 p.m. peak hour trips. A development agreement would need to be drafted with future land development or subdivision application, and the following minimum improvements would be required to be constructed upon development, to mitigate impacts:

a. Dual westbound and eastbound left-turn lanes located at 10th Street/83rd Avenue with dual northbound and southbound receiving lanes at the intersection.

b. Southbound right-turn lane at the 83rd Avenue/Site Access intersection.

c. Traffic signal located at 83rd Avenue and 12th Street.

d. Dual eastbound left-turn lane located at 83rd Avenue/12th Street intersection.

e. Left turn lanes as needed into site accesses along 12th Street.

f. Other improvements as may be required by CDOT.

The submitted Traffic Impact Memo was reviewed and evaluated by the City of Greeley Engineering Development Review Division and is significant to the rezone process. A Full Traffic Impact Study may be required for land use development in the future.

F. SERVICES

1. WATER

Current public infrastructure includes an existing 16-inch water main located in 86th Avenue and a 16-inch water main located in 12th Street from 83rd to 85th Avenue.

2. SANITATION

Current public infrastructure includes an existing 8-inch sanitary sewer main located in both 84th Avenue and 86th Avenue.

3. EMERGENCY SERVICES

The subject site is serviced by the City of Greeley Fire and Police. The closest fire station, Fire Station #7, is located approximately one (1) mile to the east of the subject site. In addition, Fire Station #6 is currently under construction and is approximately two (2) miles to the west of the subject site.

4. PARKS/OPEN SPACES

No public parks or additional public open space areas are proposed with this request and the request would not be creating any private parks or open space. The proposed rezone should have little to no impact on parks or open space in the community.

5. SCHOOLS

No schools are proposed or located within the site. However, the nearest school, Northridge High School, is located approximately two (2) miles to northwest of the subject site, and University, Frontier Academy, and West Ridge Academy, which are charter schools, are located a little over one (1) mile to the east of the subject site. It should be noted that the subject site is located within the Windsor School District.

G. NEIGHBORHOOD IMPACTS

1. VISUAL

No visual impacts are anticipated with this rezone request. Any development plan application for the property would be reviewed for compliance with the City's Development Code requirements regarding visual impacts.

2. NOISE

No noise impacts are anticipated with the rezone request. Any potential noise created by future development would be regulated by the Municipal Code.

H. PUBLIC NOTICE AND COMMENT

Neighborhood notices were mailed to surrounding property owners on July 9, 2020, per Development Code requirements. Four (4) signs were posted on the site on July 10, 2020.

Planning staff received one email regarding the proposed rezone. The citizen, who lives south of the proposed rezone, is concerned about health concerns that the proposed C-H zone district would have on the residential uses in the area (see Attachment H). No additional comments have been received.

I. MINERIAL ESTATE OWNER NOTIFICATION

Mineral notice is not required for a rezone request.

J. PLANNING COMMISSION RECOMMENDED MOTION

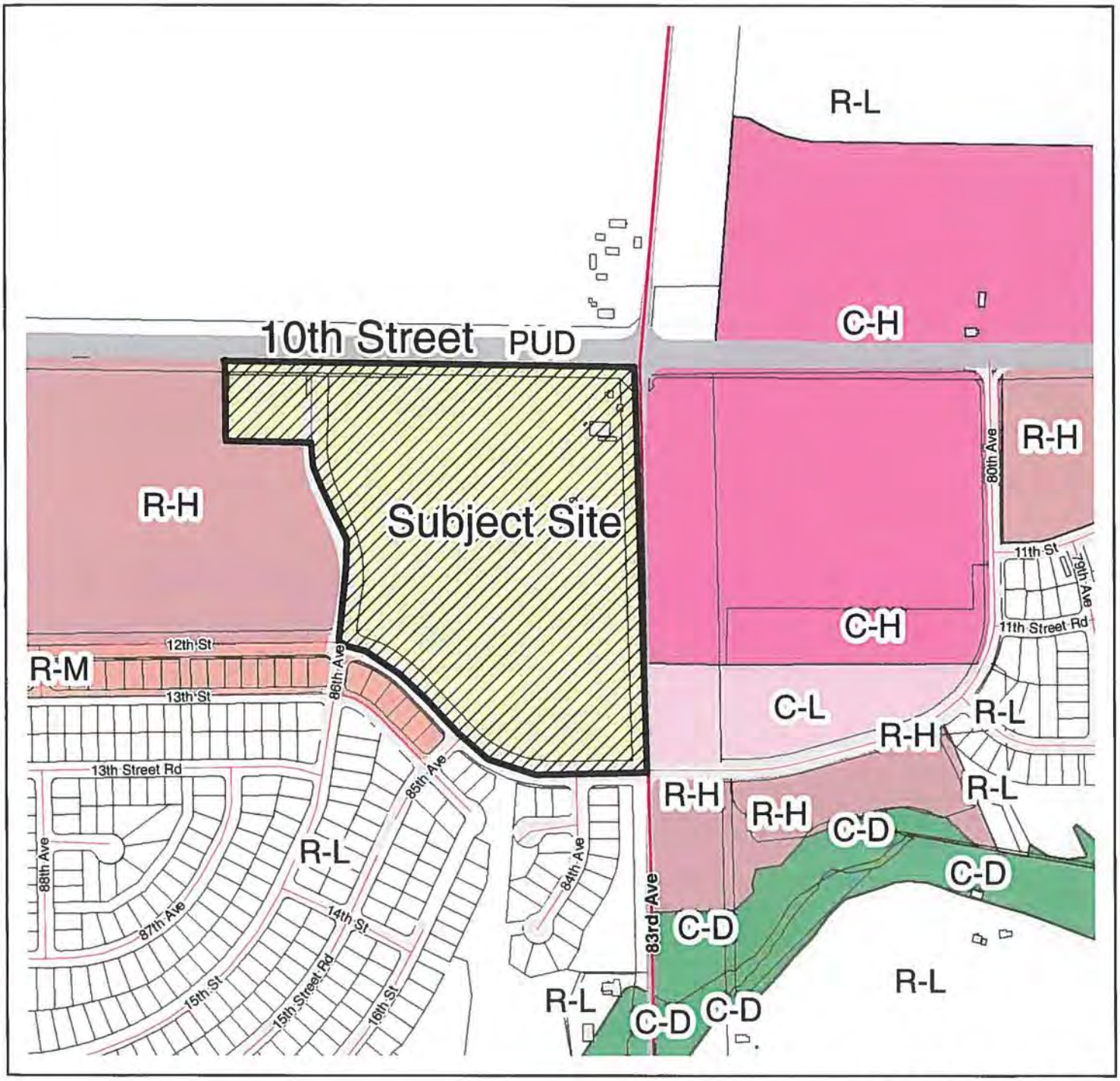
Based on the application received and the Project Summary and accompanying analysis, the Planning Commission finds that the proposed rezone from PUD (Planned Unit Development) to C-H (Commercial High Intensity) meets the applicable Development Code criteria, Sections 18.30.050(c)(3) a, b, d, f, g, and h; and, therefore, recommends approval of the rezone to the City Council.

ATTACHMENTS

Attachment A – Zoning/Vicinity Map
Attachment B – Photo Aerial
Attachment C – Narrative
Attachment D – Property Rezone Boundary Map
Attachment E – Site Analysis Map
Attachment F – Zoning Suitability Map
Attachment G – Notification Boundary Map
Attachment H – Neighborhood Comments

City of Greeley

Zoning/Vicinity Map
Two Rivers Marketplace Rezone



USR2019-0009

Legend
- Structures
- Weld Parcels
- Road Centerline
- Roads

0 500 1,000 Feet

City of Greeley Colorado

Photo Aerial
Two Rivers Marketplace Rezone

USR2019-0009

Legend
- Structures
- Weld Parcels
- Road Centerline
- Roads

0 500 1,000 Feet

Project Narrative

1.0 INTRODUCTION

This document has been prepared in accordance with the requirements of Section 18.30.050 of the City of Greeley Development Code and represents the rezoning request for the referenced property.

The proposed rezoning request is being sought to change the current zoning of the properties from Planned Unit Development (PUD) to Commercial High Density for the purpose of allowing commercial development.

2.0 ZONING SUITABILITY

2.1 Property Boundary Map

A Property Boundary Map has been submitted with this rezone request.

2.2 Site Analysis Map

A Site Analysis Map has been submitted with this rezone request.

2.3 Zoning Suitability Plan

A Zoning Suitability Plan has been submitted with this rezone request.

2.4 Conceptual Traffic Impact Study

A conceptual traffic impact letter has been provided with this rezone request.

2.5 Legal Description

An exhibit with the legal description has been submitted with this rezone request.

2.6 Pedestrian Access, Circulation & Connectivity

Vehicular access points will be provided in accordance with City of Greeley standards to provide adequate circulation and emergency access. The internal drives and sidewalks will provide connectivity for the end users to the open spaces and sidewalks along the adjacent streets.

2.7 Deed Restriction and Covenants

A title report has been submitted with this rezone request showing any existing deed restrictions or covenants. There are no proposed deed restrictions or Covenants currently being proposed.

2.8 Conceptual Drainage Report

The final drainage report for The Trails at Sheep Draw has been submitted with this rezone request.

2.9 Compatibility with Adjacent Uses

The Project is surrounded by high-density residential to the east, medium- and low-density residential to the south. There is high- and low-density commercial to the east. The proposed request to rezone the property to high-density commercial is a natural transition between the surrounding mixes of residential and commercial development. Compatibility of the future buildings with the surrounding residential and commercial neighborhood will be controlled and approved at site plan approval. All required buffering and landscaping requirements will also be incorporated into the future development and approved at site plan. There are no special districts within the

2.10 Relationship to City's Comprehensive Plan

See Section 3.0 – Rezoning Criteria Evaluation.

3.0 REZONING CRITERIA EVALUATION

The following criteria were used to evaluate the rezoning request:

3.1 Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

The property is currently zoned Planned Unit Development (PUD). From information provided by the City staff, the original PUD was created with the Golden Triangle Annexation and was general in nature. No specific development concept was included with the PUD. No future land use was proposed at the time of annexation. The property is in a transitional stage with regard to the ultimate development. The proposed rezone addressed the transition.

3.2 Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

The existing zoning has been in place for 15 years.

3.3 Are there clerical or technical errors to correct?

There are no technical or clerical errors to correct.

3.4 Are there detrimental environmental conditions, such as floodplains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Based on current information provided with the submittal, there are no known detrimental environmental impacts that may affect future development.

3.5 Is the proposed rezoning necessary in order to provide land for a community-related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

The proposed rezoning is not necessary in order to provide land for a community-related use which was not anticipated at the time of adoption of the City's Comprehensive Plan.

3.6 What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?

The proposed zoning is suitable with the current neighborhood. The potential impact of the proposed rezone to both the neighborhood and the city is analyzed below:

- **Noise:** No impact anticipated as all required buffering and landscaping requirements will be incorporated into the development.
- **Environmental:** No impact anticipated. It is assumed a biologist's report will be completed and provided at subdivision or site plan approval. If wetlands are present, they will be delineated prior to the subdivision submittal.
- **Visual:** No variances to the zoning regulations are anticipated.
- **Police:** No impacts beyond the ordinary is anticipated.
- **Fire:** As part of the proposed development, water modeling will be conducted to ensure that fire flow requirements are met.
- **Water:** As part of the proposed development, potable water infrastructure will be installed to accommodate the anticipated demands.
- **Sewer:** As part of the proposed development, sanitary sewer infrastructure will be installed to accommodate the new development.
- **Streets and pedestrian systems:** Internal traffic patterns are not identified. Tenth Street and 83rd Avenue are well defined in the City's master plan. A traffic impact study will be completed at subdivision or site plan approval to identify any improvements needed to surrounding streets. It is assumed 10th Street is at full build-out and will not require additional improvements. Eighty-Sixth is a right-in/right-out at 10th Street. See attached conceptual traffic impact letter for more information. See Section 2.6 for pedestrian access, circulation and connectivity.
- **Parks and recreational facilities:** As part of the site plan design, open spaces will be planned. The internal streets and sidewalks will provide connectivity for the end users to the open spaces. The Trials at Sheep Draw will provide a connection to the Sheep Draw Regional Trail system.

3.7 Is there clear and convincing evidence that the proposed rezoning will be consistent with

the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?

The proposed rezoning is consistent with the policies and goals of the City's Comprehensive Plan. The following evidence relative to a specific goal is listed below:

- *Objective GC-2.1 Land Use Guidance Map "Maintain a land use guidance map as a guide for land use, zoning, and development within the City of Greeley and its Long Range Expected Growth Area (LREGA)."*

  The Land Use Guidance Map indicates the area at the intersection of 83rd Avenue and State Highway 34 Business to be a "neighborhood center" which support the rezone.

- *Objective GC-2.2 Jobs/Housing Balance "Support zoning and development patterns that expand opportunities for people who live in Greeley to also work in Greeley (or vice versa)."*

  The Project will expand opportunities for the adjacent neighborhood.

- *Objective GC-2.3 Pedestrian and Bicycle-Oriented Development "Encourage a development pattern that encourages walking and bicycling whenever possible—by locating employment, shopping, recreation, entertainment, transit, and other services within a quarter-mile of residential areas."*

  The Project is within a quarter-mile of residential areas.

- *The Objective GC-2.4 Mixed-Use and Transit-Supportive Development "Promote horizontal and vertical mixed-use development that integrates a variety of housing, commercial, employment, and recreational uses particularly in centers and along corridors identified on the Land Use Guidance map.*

  It is assumed the Project will provide a mix of uses with the zoning requested to support mixed use development.

- *Objective GC-2.5 Neighborhood Centers "Promote neighborhood centers—small-scale retail areas providing basic commercial goods and services—to locate within a walkable distance of residences, usually a quarter-mile or less."*

  The Project is adjacent to an existing neighborhood. It is assumed the Project will provide goods and services within a walkable distance.

3.8 What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

There is currently not an approved zoning suitability plan. A zoning suitability plan is submitted with this request.

3.9 If the proposed rezoning is for placing property within the H-A, holding agricultural district, the following criteria shall be considered in the evaluation of the proposed zoning amendment.

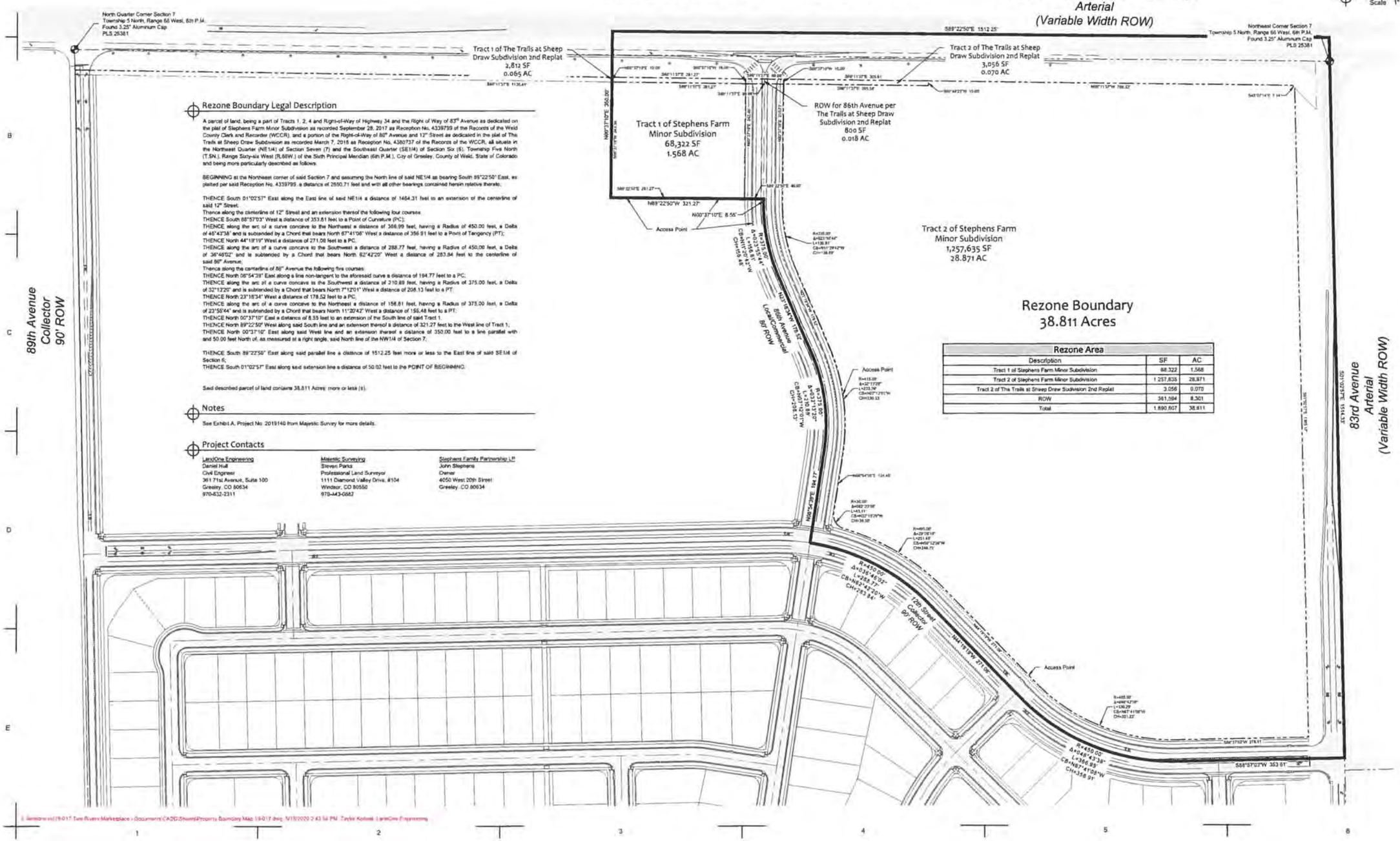
Not applicable.

3.10 If the proposed rezoning is for placing property within the C-D, conservation district, the following criteria shall be considered in the evaluation of the proposed zoning amendment.

Not applicable.

Two Rivers Marketplace Rezone
Property Boundary Map

Rezone of Tract 1 and 2 of Stephens Farm Minor Subdivision, Section 7,
Township 5 North, Range 66 West of the Sixth P.M.
City of Greeley, County of Weld, State of Colorado



Rezone Boundary Legal Description

A parcel of land, being a part of Tracts 1, 2, 4 and Right-of-Way of Highway 34 and the Right of Way of 83rd Avenue as dedicated on the plat of Stephens Farm Minor Subdivision as recorded September 28, 2017 as Reception No. 4339799 of the Records of the Weld County Clerk and Recorder (WCCR), and a portion of the Right-of-Way of 82nd Avenue and 12th Street as dedicated in the plat of The Trails at Sheep Draw Subdivision as recorded March 7, 2018 as Reception No. 4380737 of the Records of the WCCR, all situate in the Northeast Quarter (NE1/4) of Section Seven (7) and the Southeast Quarter (SE1/4) of Section Six (6), Township Five North (T.5N.), Range Sixty-six West (R.66W.) of the Sixth Principal Meridian (6th P.M.), City of Greeley, County of Weld, State of Colorado and being more particularly described as follows:

BEGINNING at the Northeast corner of said Section 7 and assuming the North line of said NE1/4 as bearing South 89°22'50" East, as platted per said Reception No. 4339799, a distance of 2650.71 feet and with all other bearings contained herein relative thereto;

THENCE South 01°02'57" East along the East line of said NE1/4 a distance of 1464.31 feet to an extension of the centerline of said 12th Street;
Thence along the centerline of 12th Street and an extension thereof the following four courses:
THENCE South 88°57'03" West a distance of 353.81 feet to a Point of Curvature (PC);
THENCE along the arc of a curve concave to the Northeast a distance of 366.99 feet, having a Radius of 450.00 feet, a Delta of 46°43'38" and is subtended by a Chord that bears North 67°41'08" West a distance of 356.91 feet to a Point of Tangency (PT);
THENCE North 44°18'19" West a distance of 271.08 feet to a PC;
THENCE along the arc of a curve concave to the Southwest a distance of 288.77 feet, having a Radius of 450.00 feet, a Delta of 36°48'02" and is subtended by a Chord that bears North 62°42'20" West a distance of 283.84 feet to the centerline of said 86th Avenue;
Thence along the centerline of 86th Avenue the following five courses:
THENCE North 08°54'39" East along a line non-tangent to the aforesaid curve a distance of 194.77 feet to a PC;
THENCE along the arc of a curve concave to the Southwest a distance of 210.89 feet, having a Radius of 375.00 feet, a Delta of 32°13'20" and is subtended by a Chord that bears North 7°12'01" West a distance of 208.13 feet to a PT;
THENCE North 23°18'34" West a distance of 178.52 feet to a PC;
THENCE along the arc of a curve concave to the Northeast a distance of 156.81 feet, having a Radius of 375.00 feet, a Delta of 23°58'44" and is subtended by a Chord that bears North 11°39'47" West a distance of 155.68 feet to a PT;
THENCE North 00°37'10" East a distance of 8.55 feet to an extension of the South line of said Tract 1;
THENCE North 89°22'50" West along said South line and an extension thereof a distance of 321.27 feet to the West line of Tract 1;
THENCE North 00°37'10" East along said West line and an extension thereof a distance of 350.00 feet to a line parallel with and 50.00 feet North of, as measured at a right angle, said North line of the NW1/4 of Section 7;

THENCE South 89°22'50" East along said parallel line a distance of 1512.25 feet more or less to the East line of said SE1/4 of Section 6;
THENCE South 01°02'57" East along said extension line a distance of 50.02 feet to the POINT OF BEGINNING.

Said described parcel of land contains 38.811 Acres, more or less (±).

Notes

See Exhibit A, Project No. 2019140 from Majestic Survey for more details.

Project Contacts

LandOne Engineering
Daniel Hull
Civil Engineer
361 71st Avenue, Suite 100
Greeley, CO 80634
970-632-2311

Majestic Surveying
Steven Parks
Professional Land Surveyor
1111 Diamond Valley Drive, #104
Windsor, CO 80550
970-443-0662

Stephens Family Partnership LP
John Stephens
Owner
4050 West 20th Street
Greeley, CO 80634

Rezone Area

Description	SF	AC
Tract 1 of Stephens Farm Minor Subdivision	68,322	1.568
Tract 2 of Stephens Farm Minor Subdivision	1,257,635	28.871
Tract 2 of The Trails at Sheep Draw Subdivision 2nd Replat	3,056	0.070
ROW	361,594	8.301
Total	1,690,607	38.811

N

Scale 1" = 100'

LandOne Engineering
361 71st Avenue, Suite 100
Greeley, CO 80634

PRELIMINARY
NOT FOR
CONSTRUCTION

Job Number 19-017
Checked By Dan Hull
Date 5/15/2020

LandOne Engineering, LLC assumes no responsibility for existing utility locations (horizontal or vertical). The existing utilities shown on this drawing have been plotted from the best available information. It is however the responsibility of the contractor to verify the location of all the utilities prior to the commencement of any construction activities.

811 Know what's below. Call before you dig.

Rev. No.	Date	Revision Description
A	5/10/2019	1st Rezone Submittal
B	7/17/2019	2nd Rezone Submittal
C	3/2/2020	3rd Rezone Submittal
D	5/15/2020	4th Rezone Submittal

Two Rivers Marketplace
Rezone
Property Boundary Map
Greeley, Colorado

Sheet 1 of 1

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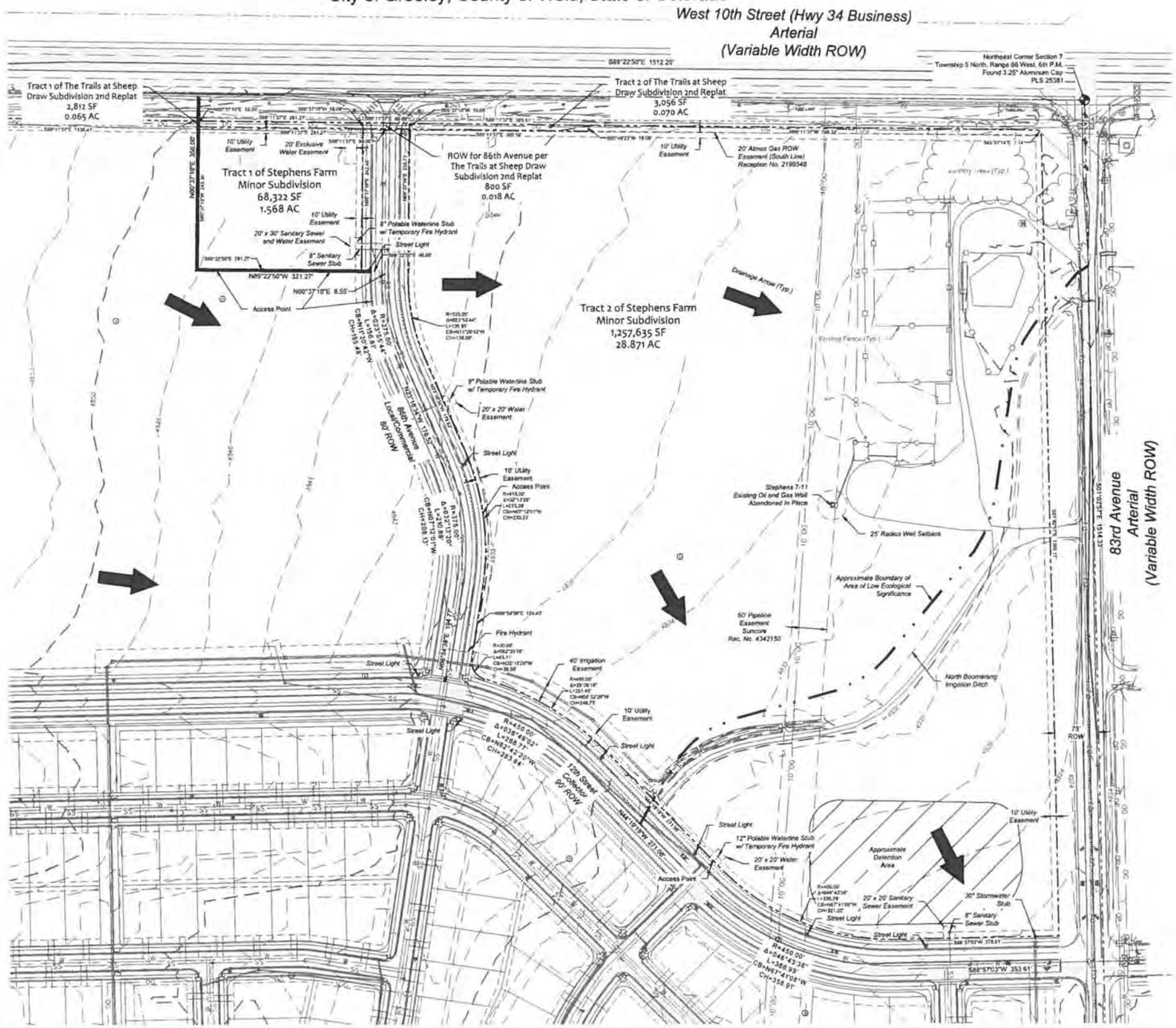
Two Rivers Marketplace Rezone
Site Analysis Map

Rezone of Tract 1 and 2 of Stephens Farm Minor Subdivision, Section 7,
Township 5 North, Range 66 West of the Sixth P.M.
City of Greeley, County of Weld, State of Colorado



LandOne Engineering
361 71st Avenue, Suite 100
Greeley, CO 80634

PRELIMINARY
NOT FOR
CONSTRUCTION

Job Number 19-017
Checked By Dan Hull
Date 3/5/2020

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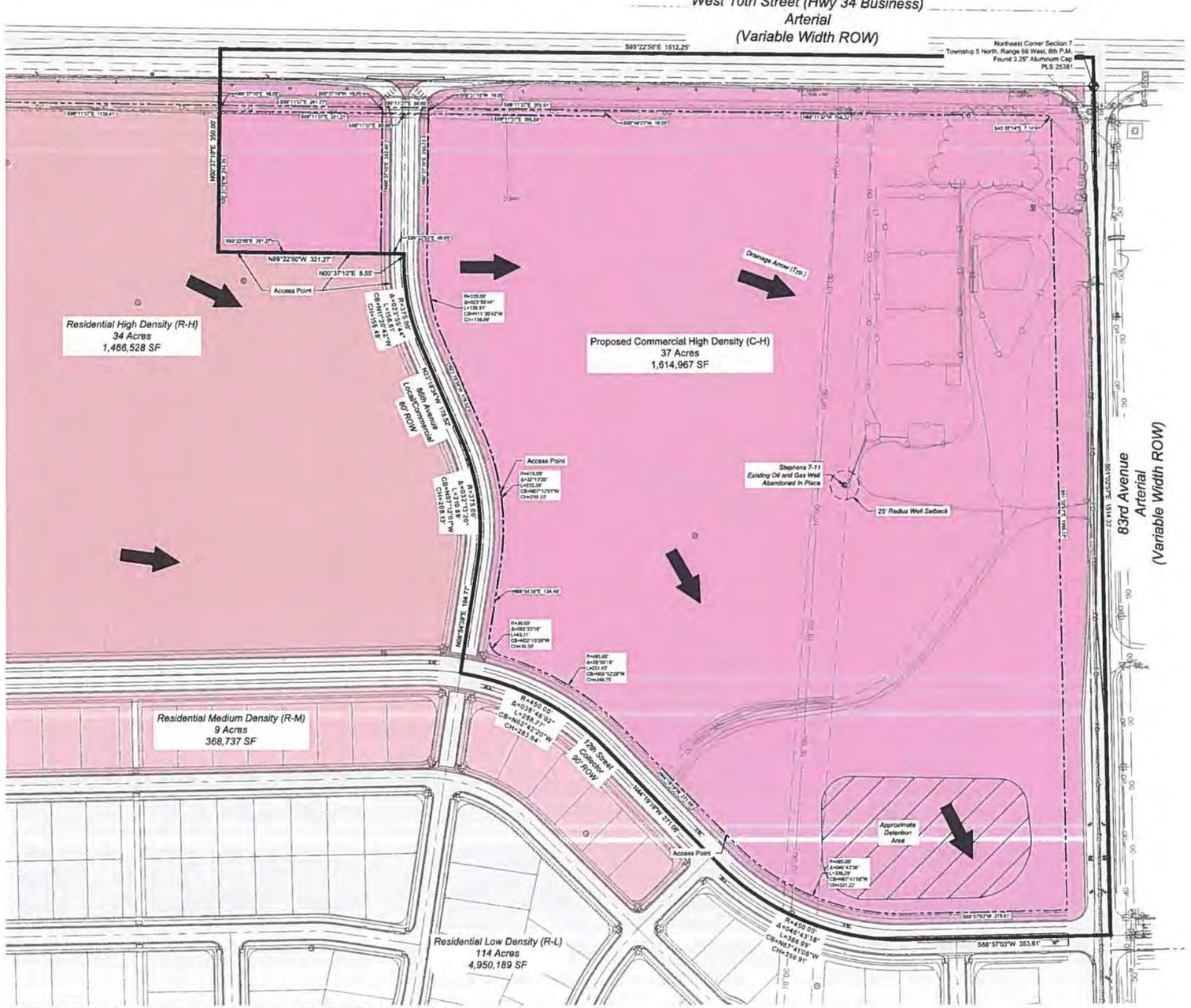
Rev. No.	Date	Revision Description
A.	5/10/2019	1st Rezone Submittal
B.	7/5/2019	2nd Rezone Submittal
C.	3/5/2020	3rd Rezone Submittal

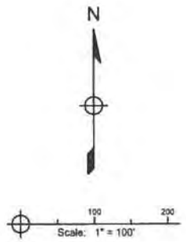
Two Rivers Marketplace
Rezone
Site Analysis Map
Greeley, Colorado

Sheet C1.2

Two Rivers Marketplace Rezone
Zoning Suitability Map

Rezone of Tract 1 and 2 of Stephens Farm Minor Subdivision, Section 7,
Township 5 North, Range 66 West of the Sixth P.M.
City of Greeley, County of Weld, State of Colorado





Notes

1. Future access points will be located in accordance with City of Greeley standards.
2. The Trails at Sheep Draw detention system serves this project. The detention system is south of the site. On site detension will be required and should be released meeting the requirements of the existing system.
3. Open space will be provided in accordance with City of Greeley standards. The internal drives and sidewalks will provide connectivity for the end users to the open spaces, existing sidewalks, and trail system.

Legend

- Drainage Arrow
- Existing Fence
- Existing Trees
- Rezone Boundary
- Existing Mayor Contour
- Existing Minor Contour
- Existing Fiber Optic
- Existing Oil & Gas
- Existing Overhead Power

LANDONE engineering
361 71st Avenue, Suite 100
Greeley, CO 80634

PRELIMINARY
NOT FOR
CONSTRUCTION

Job Number: 19-017
Checked By: Dan Hull
Date: 3/5/2020

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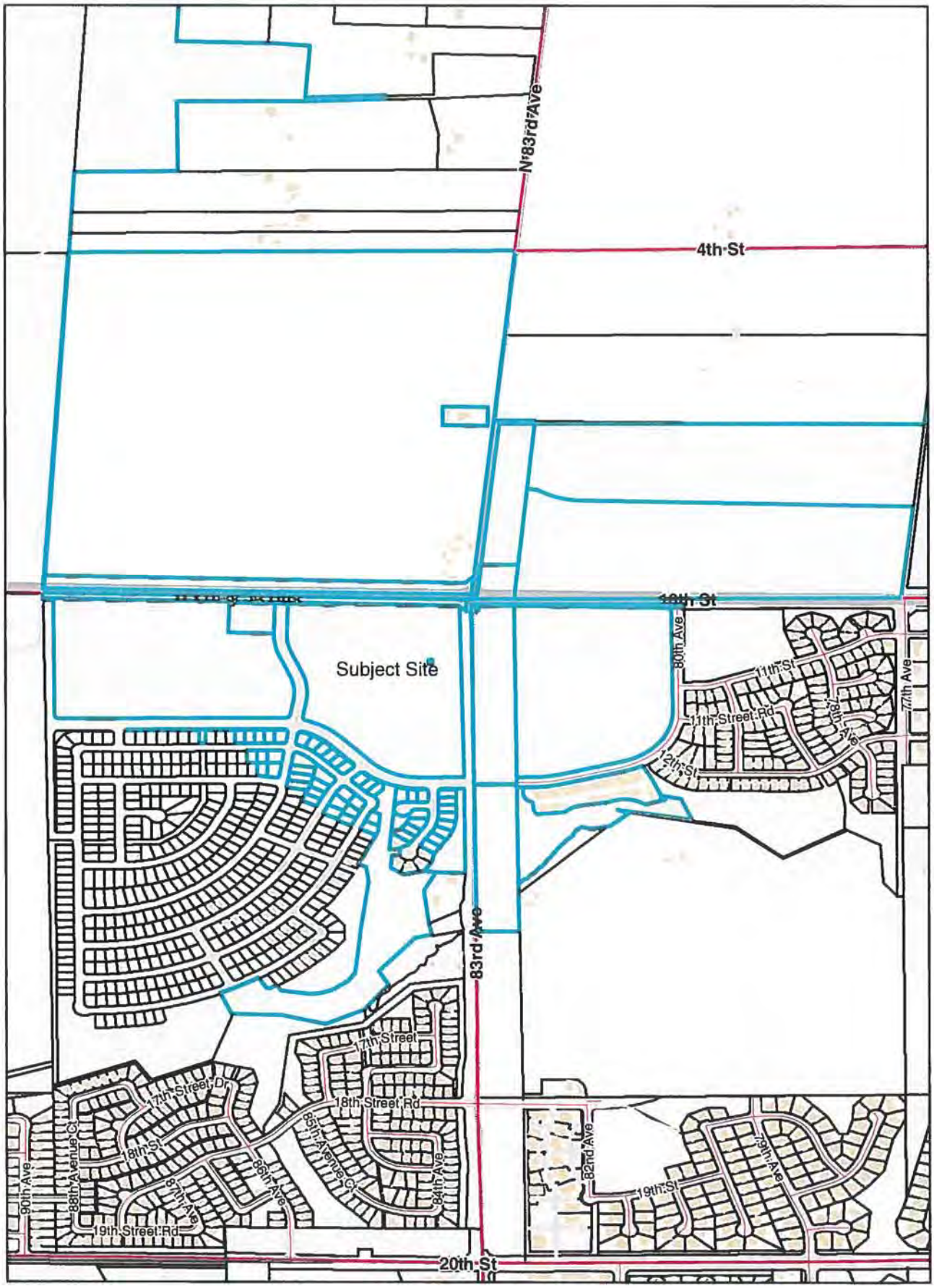
Rev. No.	Date	Revision Description
A	5/16/2019	1st Rezone Submittal
B	7/9/2019	2nd Rezone Submittal
C	3/5/2020	3rd Rezone Submittal

Two Rivers Marketplace
Rezone
Zoning Suitability Map
Greeley, Colorado

Sheet C1.3

I: landone col19-017 Two Rivers Marketplace - Documents\CADD\Sheets\Zoning Suitability Map 19-017.dwg, 3/5/2020 12:57:13 PM, Taylor Kerbel, LandOne Engineering


N 83rd Ave
4th St
Subject Site
10th St
80th Ave
11th St
11th Street Rd
78th Ave
77th Ave
12th St
83rd Ave
17th Street
17th Street Dr
18th Street Rd
85th Avenue Ct
18th St
88th Avenue Ct
90th Ave
86th Ave
84th Ave
82nd Ave
19th St
79th Ave
19th Street Rd
20th St

July 20, 2020
84th Street
Sheep Draw Trails

Dear Planning Division,

We very strongly object to the proposed rezoning request by Two Rivers Marketplace Rezone. Do you not care about the health of the hundreds of children who live in this new neighborhood? There is a reason this area is zoned as residential, and I urge you to reconsider its original purpose. We do not object to C-H zoning, we are only **opposed to the location** because of the potential long-range danger it poses to the health of thousands of Colorado citizens who live right next to it.

We already have a multi-fracking operation on the west side of Sheep Draw Trails. Also, 10th Street is a major entry/exit thoroughfare for Greeley, and we do not want to give the impression of being another Commerce City. There are still many new homes and apartments being built in this new family neighborhood. Please do not jeopardize the health of its residents, **especially the children**, by allowing this disastrous zone change. Thank you for your consideration.

Cordially yours,

Tim Barc

1308 84th Street

Greeley, CO 80634

and all of the 84th Street residents

Council Agenda Summary

August 4, 2020

Agenda Item Number 12

Key Staff Contact: Andy McRoberts, Culture, Parks and Recreation Director, 970-350-9425

Title:
Consideration of a Resolution to approve a Donation Agreement for a new East Arena Expansion Project and Stage at Island Grove Regional Park

Summary:
The City of Greeley has a long standing Grounds Lease Agreement and collaborative relationship with the Greeley Stampede for Island Grove Regional Park.

For the last year or so, the Greeley Stampede has proposed the development of a new permanent stage at the east end of the Island Grove Arena. Concepts of the new stage project (East Arena Expansion Project) is attached as reference. The project is to be completed for the 99th Anniversary of the Stampede event (tentatively scheduled for June 23 to July 4, 2021). The stage will become a City of Greeley asset upon completion.

As a part of the development of this project, the Stampede developed a strategy to conduct a major fundraising campaign to raise the necessary capital funds to construct the project. To date, the Stampede has: 1) created a separate fundraising entity, the Friends of Island Grove, Inc., a Colorado Non-Profit Corporation, to benefit capital improvements in Island Grove Regional Park; 2) designated capital funds from within their own internal fundraising efforts; 3) secured a contribution of funding from the City of Greeley towards the project, and 4) demolished the old elevated announcers booth at the east end of the Arena.

A major private donor has now been identified through JBS USA Food Company and their donation is predicated on securing major naming rights for the stage. The Donation Agreement is attached for reference.

The term of this Donation Agreement (along with naming rights) will coincide with the expiration of the end of the term of the current Grounds Lease with the Greeley Stampede, which expires in 2039, with an extension for an additional ten years beyond that.

As per City Policy (Guidebook for Naming Rights, adopted by City Council in 2003, and as per terms within the Grounds Lease with the Stampede), City Council must approve/deny all naming rights actions.

This Donation Agreement includes approval by three parties and has been vetted between the City of Greeley, JBS, and the Friends of Island Grove. There will also be a separate Sponsorship Agreement between JBS and the Friends of Island Grove, Inc.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	Yes
If yes, what is the initial, or, onetime impact?	One time initial investment - the City has previously appropriated $500,000 towards the construction of the new East Arena Expansion Project.
What is the annual impact?	Estimate $8500*
What fund of the City will provide Funding?	General Fund for ongoing annual impacts.
What is the source of revenue within the fund?	Sales Tax and Fees collected by user groups
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	N/A
Is this grant onetime or ongoing?	Although this is not technically a grant, this is a one-time funding source for capital construction.
Additional Comments:	* For the operation of the new stage - primarily electrical needs but also includes some maintenance supplies and restroom maintenance. Funding is already incorporated within the Island Grove Arena budget

Legal Issues:

This Agreement has been vetted and approved by legal representation for the City of Greeley, JBS USA Food Company, and the Friends of Island Grove, Inc.

Other Issues and Considerations:

None

Applicable Council Priority and Goal:

Image: Reinforce Greeley's vision as an attractive and vibrant community in which to live, learn, work and play, and; *Infrastructure & Growth*: Establish the capital and human infrastructure to support and maintain a safe, competitive, appealing and successful community.

Decision Options:

1) Adopt the resolution as presented; or
2) Amend the resolution and adopt as amended; or
3) Deny the resolution; or
4) Continue consideration of the resolution to a date certain.

Council's Recommended Action:

A motion to adopt the Resolution.

Attachments:

Resolution
Agreement

CITY OF GREELEY, COLORADO
RESOLUTION _____, 2020

A RESOLUTION APPROVING A DONATION AGREEMENT BETWEEN THE CITY OF GREELEY, COLORADO, JBS USA FOOD COMPANY, INC., GREELEY INDEPENDENCE STAMPEDE, INC., AND FRIENDS OF ISLAND GROVE, INC.

WHEREAS, the City of Greeley, Colorado (the "City") leases the City's Island Grove Regional Park to the Greeley Independence Stampede, Inc. ("Stampede") for purposes of hosting the Greeley Stampede over an approximately twelve-day period each June and July (the "Lease"). Said Lease is for a twenty-year term ending on December 31, 2039; and,

WHEREAS, the City has previously passed Ordinance 9, 2020, whereby it appropriated Five Hundred Thousand Dollars ($500,000.00) out of the General Fund to partially finance a proposed permanent stage at the east end of the Island Grove Arena; and,

WHEREAS, pursuant the terms of the Lease, said permanent stage will become a City of Greeley asset upon completion; and,

WHEREAS, JBS USA Food Company, Inc. ("JBS"), approached the Stampede and the City unsolicited and offered to make a one-time donation of One Million Dollars ($1,000,000.00) to Friends of Island Grove, Inc. ("FIG"), a 501(c)(3) non-profit organization controlled by the Stampede for the sole purpose of assisting with the construction costs of the proposed stage in exchange for naming-rights to the stage lasting through the term of the Stampede's Lease or, if the Lease is extended, through December 31, 2049 or the end of the Lease extension, whichever is earlier; and,

WHEREAS, the Greeley City Council ("Council"), pursuant to Paragraph 18(e) of the Lease and City policy as stated in that certain Guidebook for Naming Rights adopted by Council in 2003, must approve said naming-rights as they will apply to a structure wholly owned by the City; and,

WHEREAS, Council has determined that it is in the best interest of Greeley's citizens for Council to enter into the proposed Donation Agreement, as completing the stage using donated funds will save taxpayer funds. The stage will also positively contribute towards the City's economy and sense of civic pride.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF GREELEY, COLORADO:

Section 1. The Donation Agreement between JBS USA Food Company, Inc., the Greeley Independence Stampede, Inc., Friends of Island Grove, Inc., and the City, a copy of which is attached hereto and incorporated herein as Exhibit A, is hereby approved and the Council authorizes and directs the Agreement to be executed according to the signature authority granted in Chapter 2 of the Greeley Municipal Code.

Section 2. City staff is hereby authorized to make changes and modifications to the Donation Agreement so long as the substance of the Agreement remains unchanged.

Section 3. This resolution shall become effective immediately upon its passage.

PASSED AND ADOPTED, SIGNED, APPROVED AND IN EFFECT THIS _____ day of August, 2020.

ATTEST:

_____
City Clerk

GREELEY, COLORADO

By: _____
Mayor

DONATION AGREEMENT

1. **PARTIES.** This Donation Agreement (the "Agreement") is made and entered into this _____ day of _____, 2020, by and between The Greeley Independence Stampede Inc., a Colorado Non-Profit Corporation located at 600 N 14th Avenue, Greeley, Colorado ("the Stampede"), Friends of Island Grove, Inc., a Colorado Non-Profit Corporation created by the Stampede to benefit capital improvements in Island Grove Regional Park, located at 600 N 14th Avenue, Greeley, Colorado ("FIG"), the City of Greeley, Colorado, a home rule municipality of the State of Colorado, located at 1000 10th Street, Greeley, Colorado 80631 ("Greeley") (the Stampede, FIG and Greeley will be referred to collectively as "Donees"), and JBS USA Food Company, a Delaware corporation located at 1770 Promontory Circle, Greeley, Colorado ("Donor") (each a "Party," collectively, the "Parties").

2. **RECITALS AND PURPOSE.**

   2.1. The Donor commits to provide FIG with the Donation Funds set forth in **Exhibit A** for sole purpose set forth in **Exhibit A**; and

   2.2. Greeley, as owner in fee simple of Island Grove Regional Park Arena and all improvements thereon (including the future JBS Stage contemplated in Exhibit A), wishes to approve this donation as an indirect beneficiary of the transaction.

   Accordingly, in consideration of the mutual promises set forth in this Agreement, the parties covenant and agree to the terms and conditions set forth in the following paragraphs.

3. **FUNDS.** The Donor agrees to disburse to FIG those funds indicated on the attached **Exhibit A** ("Donation Funds" or "Gift") in accordance with the Fund Disbursement Schedule set forth therein. The Donation Funds shall be used for the sole purpose(s) set forth in **Exhibit A.**

4. **RECEIPT.** Within five (5) business days of receiving the Donation Funds or Gift listed in Exhibit A FIG shall provide the Donor with a receipt. The receipt must be written on the official letterhead of FIG and contain the following information: a) the name of the FIG as listed in Section 1 of this Agreement, b) the date the Donation Funds or Gift was given, c) the amount of the Donation Funds as set forth in Exhibit A, d) a description of any non-monetary Gift set forth in Exhibit A, and e) either a statement that no goods or services were provided by the Donees in exchange for the Donation Funds or the Gift, or description and good faith estimate (no estimate is needed for naming rights) of the value of goods or services received by Donor from Donees.

5. **NAMING RIGHTS TO STAGE.** In recognition of the Donor's commitment set forth in Section 3 above, Greeley shall grant Donor naming rights to the stage contemplated in Exhibit A from the date of this Agreement through December 31, 2039. If the Stampede extends the Lease of Island Grove Regional Park beyond this date, then Donor's naming rights to the stage shall continue through December 31, 2049 or the end of the Lease, whichever is the first to occur. If, at any time, Donor requests an update to the name(s) or logo(s) set forth in Exhibit B and subsequently used in or on the JBS Stage, Donees shall work with Donor, at Donor's cost, to effectuate such change. If Donor desires to extend the term of the naming rights for the stage beyond the term described above, Greeley shall negotiate in good faith with Donor to extend the naming rights term.

6. **DONEE TAX STATUS.** FIG ☒ IS / ☐ IS NOT organized under the provisions of Section 501(c)(3) of the Internal Revenue Code of 1986, as amended (the "Code"). The Parties desire that the Gift made by this Agreement to be made in compliance with all of the applicable

provisions of the Code, and accompanying Treasury Regulations governing charitable organizations formed in accordance with the Code, as interpreted and applied by the Internal Revenue Service, as applicable.

7. **LICENSE.** The Donor grants to the Donees a nonexclusive, non-transferable, non-sublicensable license to use certain “Donor Trademarks” owned by the Donor solely in connection with this Agreement. "Donor Trademarks" shall mean solely the Donor trade names, marks and logos specified in **Exhibit B** hereto; provided, however, that the Donor in its sole discretion from time to time, may change the appearance and/or style of the Donor Trademarks or add or subtract from the list in **Exhibit B**, provided that, unless required earlier by a court order or to avoid potential infringement liability, Donees shall have 30 days' notice to implement any such changes. Donees hereby acknowledge and agree that, (i) the Donor has represented to Donees that the Donor Trademarks are owned solely and exclusively by the Donor, (ii) except as set forth herein, the Donees have no rights, title or interest in or to the Donor Trademarks and (iii) all use of the Donor Trademarks by the Donees shall inure to the benefit of the Donor. Donees agree not to apply for registration of the Donor Trademarks (or any mark confusingly similar thereto) anywhere in the world. Notwithstanding the foregoing, any use of the Donor Trademarks pursuant to this license shall require the prior consent of the Donor.

    7.1 Ownership. Donees acknowledge and agree that the presentation and image of the Donor Trademarks should be uniform and consistent with respect to all services, activities and products associated with the Donor Trademarks. Accordingly, Donees agree to use the Donor Trademarks solely in the manner that the Donor shall specify from time to time in the Donor's sole discretion. All usage by Donees of the Donor Trademarks shall include the appropriate trademark symbol. No use of the Donor Trademarks shall be permitted without the prior consent of the Donor.

8. **TERMINATION.** Donor may immediately terminate this Agreement with no further liability to Donees if Donees at any time breach their obligations under this Agreement, and Donees do not cure such failure within thirty (30) days after receipt of written notice from the Donor.

9. **RELATIONSHIP.** Notwithstanding any provision to the contrary in this Donation Agreement, the Parties agree that their relationship with respect to the Gift contemplated herein is one of donor and donees only, and no provision of this Donation Agreement shall be construed to create any other type of status or relationship between the Parties with respect to such Gift. Neither Party nor its agents or employees are the representatives of the other Party for any purpose and neither Party has the power or authority as agent, employee or any other capacity to represent, act for, bind or otherwise create or assume any obligation on behalf of the other Party for any purpose whatsoever.

10. **LIMITATION OF LIABILITY.** Neither Party shall be liable to the other or any third party for any consequential, indirect, incidental, special, or punitive damages. The aggregate liability of each Party under this agreement shall be one-thousand dollars ($1,000).

11. **FORCE MAJEURE.** Neither Party shall be deemed to have defaulted or failed to perform under this Agreement if that Party’s ability to perform or default shall have been caused by an event or events beyond the control and without the fault of that Party, including fire, flood, explosion, act of God or a public enemy, strike, labor dispute, civil riot, pandemic, or the ability of Donor to provide the Gift is impacted by any of the foregoing (“Force Majeure Event”). Upon the occurrence of the Force Majeure Event, the Party claiming the Force Majeure Event shall promptly notify the other Party in writing of such event. Notwithstanding the foregoing, in the event of a Force Majeure Event, each Party agrees to make a good faith effort to perform its obligations hereunder.

12. **ASSIGNMENT.** The provisions of this Agreement will be binding on the Parties' successors and

assigns. Upon notice to the other party, either party may assign this Agreement in whole or in part to any affiliate or subsidiary, or any party acquiring substantially all of the stock or assets of that party. Any other assignment shall require the prior written consent of the other party. Such consent not to be unreasonably withheld.

13. **GREELEY / STAMPEDE LEASE**. The Parties acknowledge and affirm that certain separate agreement between Greeley and the Stampede which includes a Twenty Year Lease Agreement dated June 19th, 2019 (the "Lease"). The JBS Stage contemplated in Exhibit A of this Agreement will constitute an improvement upon the Island Grove Regional Park Arena and shall therefore be owned in fee simple by Greeley subject to the terms of the Lease. The Stampede and FIG expressly disclaim any property interest in the JBS Stage other than those leasehold rights created by the Lease to the Stampede. Pursuant to Paragraph 18(e) of the Lease, this Agreement shall be incorporated as Exhibit D of the Lease. The Parties will work in good faith to provide one (1) additional day under the Lease for Donor to hold a springtime employee appreciation concert in the Stampede Arena on the JBS Stage on which the Stampede will assist Donor with producing.

14. **NOTICES.** Any notice required or permitted by this Agreement shall be in writing and shall be deemed to have been sufficiently given for all purposes if sent by certified or registered mail, postage and fees prepaid, addressed to the party to whom such notice is intended to be given at the address set forth in Section 1 of this Agreement. Such notice shall be deemed to have been given when deposited in the U.S. Mail.

15. **EXHIBITS.** All exhibits referred to in this Agreement are, by reference, incorporated in this Agreement for all purposes.

16. **PARAGRAPH CAPTIONS.** The captions of the paragraphs are set forth only for convenience and reference, and are not intended in any way to define, limit, or describe the scope or intent of this Agreement.

17. **ADDITIONAL DOCUMENTS OR ACTION.** The parties agree to execute any additional documents and to take any additional action necessary to carry out this Agreement.

18. **INTEGRATION AND AMENDMENT.** This Agreement represents the entire agreement between the parties and there are no oral or collateral agreements or understandings. This Agreement may be amended only by an instrument in writing signed by the parties.

19. **WAIVER OF BREACH.** The waiver by any party to this Agreement of a breach of any term or provision of this Agreement shall not operate or be construed as a waiver of any subsequent breach by any party.

20. **GOVERNING LAW.** The construction and interpretation of this Agreement and any disputes arising hereunder (whether for breach of contract, tortuous conduct or otherwise) shall be governed by and construed in accordance with the internal laws of the State of Colorado without giving reference to its conflict of laws principles. In the event any suit, action or proceeding is brought by either party with respect to this Agreement or the matters contemplated herein, such action, suit or proceeding shall be brought in the state courts located in Weld County, Colorado and both Parties hereby accept, consent and submit to the exclusive jurisdiction of such court for the purpose of any such action, suit or proceeding.

21. **SEVERABILITY.** If any provision of this Agreement is declared to be invalid, void or unenforceable by a court of competent jurisdiction, such provision shall be deemed to be severable, and all other provisions of this Agreement shall remain fully enforceable, and this Agreement shall be interpreted in all respects as if such provision were omitted.

22. **AUTHORITY.** The Donees represent that they have full power and authority to execute this Agreement and to carry out the transactions contemplated hereby, and that all corporate action on the part of the Donees, their officers, directors shareholders, and City Council, and all consents, approvals, orders, authorizations or filings with any federal or state governmental agency necessary for the authorization, execution, delivery and performance of this Agreement by the Donees and the consummation of the transactions contemplated herein by the Donees have been taken or obtained, and that this Agreement constitutes the legal, valid and binding obligation of such entity.

23. **ELECTRONIC SIGNATURE & COPIES.** Electronic signatures shall constitute original signatures for all purposes of this Agreement. Any and all electronic copies of the Agreement shall be treated as an original version.

Donor:

JBS USA Food Company

By: _____

Name: _____

Title: _____

Donees:

Greeley Stampede

By: _____

Name: Justin Watada

Title: General Manager

Friend of Island Grove

By: _____

Name: _____

Title: _____

City of Greeley, Colorado

_____
Mayor

ATTEST:

_____
City Clerk

APPROVED AS TO SUBSTANCE:

_____
City Manager

APPROVED AS TO AVAILABILITY OF FUNDS:

_____
Director of Finance

APPROVED AS TO LEGAL FORM:

_____
City Attorney

EXHIBIT A

Donation Fund Amount: One Million Dollars ($1,000,000)

Fund Disbursement Schedule: Lump sum, to be disbursed within forty-five (45) days after the date of this Agreement.

Sole Purpose of the Funds: The funds set forth in this Exhibit A shall be used solely for the construction of the stage at the Island Grove Regional Park Arena in Greeley, CO (the "JBS Stage"), or as otherwise mutually agreed upon between the Parties.

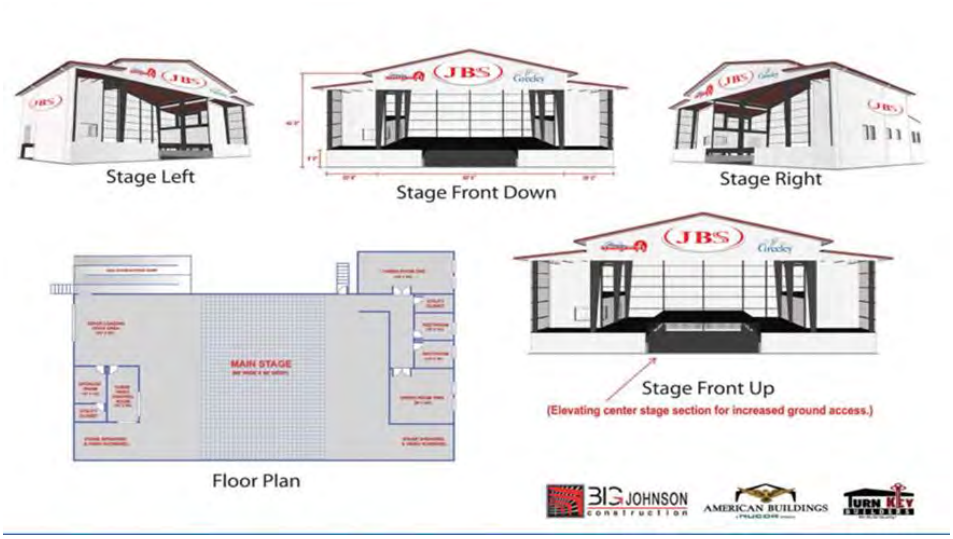


EXHIBIT B

Donor Trademarks:

JBS USA Food Company

JBS

Council Worksession Summary

August 4, 2020

Agenda Item Number 13

Key Staff Contact: Cheryl Aragon, Interim City Clerk, 970-350-9743

Title:

Consideration of a Resolution authorizing an Intergovernmental Agreement with Weld County to participate in Weld County's November 3, 2020, General Election

Summary:

August 25th is the statutory deadline to approve an intergovernmental agreement with Weld County if the City is planning to participate in the November 3, 2020 coordinated election. Although no items have been officially referred to the voters at this point, the plan is to present Council with the introduction/first reading of ordinance(s) to extend sales tax rates during its August 18th regular meeting and corresponding public hearing/final reading scheduled for the September 1st regular meeting. Should these measures be approved by Council and referred to the voters at that time, this proposed intergovernmental agreement would be activated.

City Council has expressed a preference within its *Policies and Protocol* to conduct its' elections as part of a coordinated effort managed by the Weld County Clerk and Recorder. It has been Greeley's practice to participate in coordinated elections since 1994.

In order to participate in a coordinated election, an (IGA) is required. An ordinance or resolution is needed as an authorizing document for the IGA; therefore, a Resolution is attached for Council's consideration.

The agreement lists the responsibilities of both parties and provides for payment by the City of Greeley to Weld County for participation. Generally, the City Clerk is responsible for the election process up to and including certification of Greeley's ballot contents, and the County Clerk is responsible for the process after the ballot certification process, through Election Day, as well as post-election processes.

The attached Intergovernmental Agreement covers the November 3, 2020 Election only.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	Yes
If yes, what is the initial, or, onetime impact?	Approximately $78,750
What is the annual impact?	$78,750 (biannually for regular municipal elections
What fund of the City will provide Funding?	General

What is the source of revenue within the fund?	No specific source within the General Fund
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	N/A
Is this grant onetime or ongoing?	N/A
Additional Comments:	The fee charged to participate in the coordinated election is $1.25 per registered voter. While the number of registered voters varies, there are approximately 63,000 registered voters in Greeley at this time.

Legal Issues:
None anticipated.

Other Issues and Considerations:
N/A

Applicable Council Priority and Goal:
Infrastructure & Growth: Establish the capital and human infrastructure to support and maintain a safe, competitive, appealing and successful community.

Decision Options:
1) Adopt the resolution as presented; or
2) Amend the resolution and adopt as amended; or
3) Deny the resolution; or
4) Continue consideration of the resolution to a date certain.

Council's Recommended Action:
A motion to adopt the Resolution.

Attachments:
Resolution
Intergovernmental Agreement

CITY OF GREELEY, COLORADO

RESOLUTION NO. _____, 2020

A RESOLUTION OF THE GREELEY CITY COUNCIL ENTERING INTO AN INTERGOVERNMENTAL AGREEMENT WITH WELD COUNTY TO PARTICIPATE IN THE NOVEMBER 3, 2020 COORDINATED ELECTION, AND AUTHORIZING THE CITY CLERK TO SIGN SAID INTERGOVERNMENTAL AGREEMENT

WHEREAS, pursuant to Colorado law, the County of Weld and the City of Greeley may cooperate or contract with each other to provide any function, service or facility lawfully authorized to each, and any such contract may provide for the sharing of costs; and

WHEREAS, the County of Weld, through the Weld County Clerk and Recorder (County Clerk) and the City of Greeley (City) are authorized to conduct elections as provided by law; and

WHEREAS, the City has determined that it is in the best interests of the City to participate in Weld County's November 3, 2020, General Election, as a "coordinated election", as such term is defined in the Uniform Election Code of 1992, as amended, which also contemplates the entry into and performance of an intergovernmental agreement to cooperate in the conduct and financing of an election; and

WHEREAS, the County Clerk and the City have determined that it is in the best interest of Weld County, the City, and their respective inhabitants to cooperate and contract concerning the November 3, 2020 election upon the terms and conditions contained in the attached intergovernmental agreement; and

WHEREAS, Colorado Constitution Article X, Section 20 requires the production of a mailed notice (TABOR notice) concerning certain ballot issues that may be submitted to the electors of the City, and the TABOR notices of several jurisdictions are to be sent as a package where jurisdictions overlay; and

WHEREAS, the need to produce the TABOR notice package requires that there be county-wide coordination of the production and mailing of the TABOR notice package to effectuate the purposes of said constitutional section, and the County Clerk and the City desire to set forth their respective responsibilities in the production and mailing of the TABOR notice package for the election conducted pursuant to the intergovernmental agreement.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GREELEY AS FOLLOWS:

1. The attached Intergovernmental Agreement (Exhibit A) is hereby authorized;

2. the City Clerk is hereby authorized to sign said Intergovernmental Agreement; and

3. this Resolution shall become effective immediately upon its passage.

PASSED AND ADOPTED, SIGNED AND APPROVED THIS 4TH DAY OF AUGUST, 2020.

CITY OF GREELEY, COLORADO

_____
John Gates, Mayor

ATTEST:

_____
Cheryl Aragon, Interim City Clerk

Memorandum of Intergovernmental Agreement
For Conduct of Coordinated Elections

City of Greeley, hereinafter referred to as "Jurisdiction," does hereby agree and contract with the Board of County Commissioners of the County of Weld, hereinafter referred to as "Commissioners," and the Weld County Clerk and Recorder, hereinafter referred to as "County Clerk," concerning the administration of the November 3, 2020, General Election conducted pursuant to the Uniform Election Code of 1992 as amended (hereinafter "Code"), and the rules and regulations promulgated thereunder, found at 8 C.C.R. 1505-1. This Agreement is not intended to address or modify statutory provisions regarding voter registration, nor to address or modify the County Clerk's duties thereunder.

WHEREAS, the Jurisdiction desires to conduct an election pursuant to its statutory authority or to have certain items placed on the ballot at an election pursuant to its statutory authority, such election to occur via mail ballot on November 3, 2020; and

WHEREAS, the Jurisdiction agrees to conduct a Coordinated Election with the County Clerk acting as the Coordinated Election Official; and

WHEREAS, the County Clerk is the "Coordinated Election Official," pursuant to C.R.S. §1-7-116, and is to perform certain election services in consideration of performances by the Jurisdiction of the obligations herein below set forth; and

WHEREAS, such agreements are authorized by statute at C.R.S. §§1-1-111(3), 1-7-116, and 29-1-203, et seq.

NOW, THEREFORE, in consideration of the mutual covenants herein, the parties agree as follows:

1. The Jurisdiction encompasses territory within Weld County and only Weld County. This Agreement shall be construed to apply only to that portion of the Jurisdiction within Weld County.

2. Term of Agreement: This Agreement is intended only to deal with the conduct of the November 3, 2020, General Election.

3. The Jurisdiction agrees to perform the following tasks and activities:

   a. Conduct all procedures required of the clerk or designated election official for initiatives, referenda, and referred measures under the provisions of C.R.S. §§31-11-101 through 31-11-118.

   b. To do all tasks required by law of designated election officials concerning nomination of candidates by petition, including, but not limited to: issue approval as to form, where appropriate, of nominating petition; determine candidate eligibility; receive candidate acceptance of nominations; accept notice of intent, petitions for nomination, and affidavits of circulators; verify signatures on nominating petitions; and hear any protests of the nominating petitions, as said tasks are set forth in any applicable provisions of Title 1, Article IV, Parts 8 and 9, and C.R.S. §1-4-501, C.R.S., and those portions of the Colorado Municipal Election Code of 1965, Article X of Title 31, as adopted by reference pursuant to C.R.S. §1-4-805.

c. Establish order of names and questions for Jurisdiction's portion of the ballot and submit to the County Clerk in final form. The ballot content, including a list of candidates, ballot title, and text, must be certified to the County Clerk no later than 60 days before the election, pursuant to C.R.S. §1-5-203(3)(a).

d. Accept written comments for and against ballot issues pursuant to C.R.S. §§ 1-7-901 and Colorado Constitution Article 10, Section 20(3)(b)(v). Comments to be accepted must be filed by noon on the Friday before the 45th day before the election. Preparation of summaries of written comments shall be done by the Jurisdiction but only to the extent required pursuant to C.R.S. §1-7-903(3). The full text of any required ballot issue notices must be transmitted to and received by the County Clerk no later than 43 days prior to the election pursuant to C.R.S. §1-7-904. No portion of this Subsection 3(d) shall require the County Clerk to prepare summaries regarding the Jurisdiction's ballot issues.

e. Collect, prepare, and submit all information required to give notice pursuant to Colorado Constitution Article 10, Section 20(3)(b), the Taxpayer's Bill of Rights. Such information must be received by the County Clerk no less than 43 days prior to the election to give the County Clerk sufficient time to circulate the information to voters.

f. Accept affidavits of intent to accept write-in candidacy up until close of business on the 64th day before the election, provide a list of valid affidavits received and forward them to the County Clerk pursuant to C.R.S. §1-4-1102(2).

g. Pay the sum of $1.25 per registered elector eligible to vote in the Jurisdiction's election as of November 3, 2020, with a $200 minimum, within 30 days of billing, regardless of whether or not the election is actually held. If the Jurisdiction cancels the election before its Section 20, Article X, the Taxpayer's Bill of Rights, notices are due to the County, and prior to the County Clerk incurring any expenses for the printing of the ballots, the Jurisdiction shall not be obligated for any expenses under this Subsection 3(g) (h). The Jurisdiction shall also be responsible for costs of recounts pursuant to C.R.S. §§1-10.5-107, 1-10.5-104, or 1-11-215, except for costs collected from an "interested party" pursuant to C.R.S. §1-10.5-106 which shall be collected by the entity conducting the recount.

h. Designate an "election official" who shall act as the primary liaison between the Jurisdiction and the County Clerk and who will have primary responsibility for the conduct of election procedures to be handled by the Jurisdiction hereunder.

i. By approval of this Agreement, any municipality thereby resolves to not use the provisions of the Colorado Municipal Election Code, except as otherwise set forth herein or as its use is specifically authorized by the Code.

j. Mail ballot issue notices pursuant to C.R.S. §1-7-906(2) for active registered electors who do not reside within the county or counties where the political subdivision is located.

k. Carry out all action necessary for cancellation of an election including notice pursuant to C.R.S. §1-5-208, and pay any costs incurred by the County Clerk within 30 days of receipt of an invoice setting forth the costs of the canceled election pursuant to C.R.S. §1-5-208(5).

l. Jurisdiction shall verify as being accurate the list of registered elector's names and addresses previously forwarded to the Jurisdiction by the Weld County Clerk and Recorder's Office. By signing this Agreement, Jurisdiction represents that the list of registered elector's names and addresses has been reviewed by the Jurisdiction and is accurate. The Jurisdiction will promptly notify Adam Gonzales, the Weld County Election Manager (see contact information in 5(h)), of any changes to the information contained in said list.

m. By September 4th, Jurisdiction shall notify all candidates to call the Election Office at 970-304-6525, ext. 3109, to leave a voice mail on how to pronounce the candidate's name and the office the candidate is seeking.

4. The County Clerk Agrees to perform the following tasks and activities:

a. Except as otherwise expressly provided for in this Agreement, to act as the Coordinated Election Official for the conduct of the election for the Jurisdiction for all matters in the Code which require action by the Coordinated Election Official.

b. Circulate the Taxpayer's Bill of Rights notice pursuant to Colorado Constitution Article X, Section 20.

c. Circulate general Ballot Issues notices pursuant to C.R.S. §§ 1-7-905 and 1-7-906(1), and publish and post notice, as directed in C.R.S. §1-5-205.

d. Designate the statutory required number of drop boxes during the election cycle. Designate not less than the statutory requirement of voter service and polling centers for early voting and election day.

e. After Election Day, bill Jurisdiction for number of registered electors within the Jurisdiction as of Election Day; identify the members of the Board of Canvassers eligible for receiving a fee; and bill the Jurisdiction for the fees.

f. Designate an employee of the Weld County Clerk and Recorder's Office, Election Division to act as a primary liaison or contact between the County Clerk and the Jurisdiction (see contact information in 5(h)).

g. The County Clerk shall appoint and train election judges and this power shall be delegated by the Jurisdiction to the County Clerk, to the extent required or allowed by law.

h. Select and appoint a Board of Canvassers to canvass the votes, provided that the Jurisdiction, at its option, may designate one of its members and one eligible elector from the jurisdiction to assist the County Clerk in the survey of the returns for that Jurisdiction. If the Jurisdiction desires to appoint one of its members and an eligible elector to assist, it shall make such appointments, and shall notify the County Clerk in writing of such appointments not later than 15 days prior to the election. The County Clerk shall receive and canvass all votes, and shall certify the results in the time and manner provided and required by the Code. The County Clerk shall perform all recounts required by the Code.

5. Additional Provisions

a. Time of the Essence.

Time is of the essence in this Agreement. The statutory time frames of the Code shall apply to the completion of the tasks required by this Agreement.

b. Conflict of Agreement with Law.

This Agreement shall be interpreted to be consistent with the Code, provisions of Title 31 applicable to the conduct of elections, and the Colorado Election Rules contained in 8 C.C.R. 1505-1. Should there be an irreconcilable conflict between the statutes, this Agreement and the Colorado Election Rules, the statutes shall first prevail, then this Agreement and lastly the Colorado Election Rules.

c. Right of Termination.

If Jurisdiction fails to accomplish its obligations, County is relieved of any further obligation under this agreement. Jurisdiction is fully responsible for any actions that result from its failure to meet its obligations.

d. Liquidated Damages.

In the event that a Court of competent jurisdiction finds that the election for the Jurisdiction was void or otherwise fatally defective as a result of the sole negligence or failure of the County Clerk to perform in accordance with this Agreement or laws applicable thereto, then the County Clerk shall, as liquidated damage, not as a penalty, refund all payments made, pursuant to Subsection 3(g) of this Agreement and shall, if requested by the Jurisdiction, conduct the next Coordinated Election which may include any election made necessary by a defect in the election conducted pursuant to this Agreement with no fee assessed to the Jurisdiction. This remedy shall be the sole and exclusive remedy for damages available to the Jurisdiction under this Agreement.

e. No Waiver of Privileges or Immunities.

No term or condition of this Agreement shall be construed or interpreted as a waiver, express or implied, of any of the immunities, rights, benefits, protections or other provisions, of the Colorado Governmental Immunity Act §§ 24-10-101 et seq., as applicable now or hereafter amended, or any other applicable privileges or immunities held by the parties to this Agreement.

f. No Third Party Beneficiary Enforcement.

It is expressly understood and agreed that the enforcement of the terms and conditions of this Agreement, and all rights of action relating to such enforcement, shall be strictly reserved to the undersigned parties and nothing in this Agreement shall give or allow any claim or right of action whatsoever by any other person not included in this Agreement. It is the express intention of the undersigned parties that any entity other than the undersigned parties receiving services or benefits under this Agreement shall be an incidental beneficiary only.

g. Entire Agreement, Modification, Waiver of Breach.

This Agreement contains the entire Agreement and understanding between the parties to this Agreement and supersedes any other agreements concerning the subject matter of this transaction, whether oral or written. No modification, amendment, novation, renewal, or other alteration of or to this Agreement and any attached exhibits shall be deemed valid or of any force or effect whatsoever, unless mutually agreed upon in writing by the undersigned parties. No breach of any term, provision, or clause of this Agreement shall be deemed waived or excused, unless such waiver or consent shall be in writing and signed by the party claimed to have waived or consented. Any consent by any party hereto, or waiver of, a breach by any other party, whether express or implied, shall not constitute a consent to, waiver of, or excuse for any other, or subsequent, breach.

h. Notice provided for in this Agreement shall be given by the Jurisdiction to the primary liaison designated according to section 4.f. above:

Adam Gonzales
Phone: (970) 400-3178
Fax: (970) 304-6566
Email: agonzales@weldgov.com
Address: PO Box 459, Greeley, CO 80632

Notice provided for in this Agreement shall be given to the Jurisdiction election official referred to in Subsection 3(h) of this Agreement by phone:

Designated Election Official for Jurisdiction: Cheryl Aragon, Interim City Clerk
Phone: 970-350-9743
After hour phone number: 970-302-0362
Additional Contact Information:
Fax: 970-350-9828
E-mail: Cheryl.Aragon@greeleygov.com
Address: 1000 - 10th Street
Greeley Co 80631.

DATED this 4th day of August, 2020.

WELD COUNTY CLERK AND RECORDER

Carly Koppes, Clerk and Recorder

APPROVED AS TO FORM:

County Attorney

City of Greeley
APPROVED AS TO FORM:

Attorney for Jurisdiction (Signature)

BOARD OF COUNTY COMMISSIONERS
OF THE COUNTY OF WELD COUNTY

Mike Freeman, Chair

ATTEST:
Clerk to the Board of County Commissioners

Deputy Clerk to the Board

ATTEST:

Designated Election Official for Jurisdiction
(Signature)

Council Agenda Summary

August 4, 2020

Agenda Item Number 14

Title
Pulled Consent Agenda Items

Council Agenda Summary

August 4, 2020

Agenda Item Number 15

Key Staff Contact: Brad Mueller, Community Development Director, 970-350-9786

Caleb Jackson, Planner, 970-350-9876

Title:

Public hearing to consider a change of zone from R-H (Residential High Density) to PUD (Planned Unit Development) for 20.662 acres of property located west of north 35th Avenue and south of C Street, known as the Stoneybrook Subdivision Filing No. 1 Block 1, Lot 4 Rezone, and public hearing and final reading of an ordinance changing the official zoning map to reflect the same

Summary:

The City of Greeley is considering a request to rezone a 20.662-acre parcel of property from R-H (Residential High Density) to PUD (Planned Unit Development), located west of north 35th Avenue and south of C Street. Approval of the rezone request will enable establishment of a Preliminary PUD to allow a mobile home community.

The Planning Commission considered this request on July 14, 2020 and unanimously recommended approval to City Council.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	No
If yes, what is the initial, or, onetime impact?	
What is the annual impact?	
What fund of the City will provide Funding?	
What is the source of revenue within the fund?	
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	
Is this grant onetime or ongoing?	
Additional Comments:	Potential city impacts related to PUD zoning are not different from those of the current R-H zoning.

Legal Issues:

Consideration of this matter is a quasi-judicial process which includes the following public hearing steps:

1) City staff presentation
2) Council questions of staff
3) Applicant presentation
4) Council questions of applicant
5) Public input (hearing opened, testimony - up to three minutes per person, hearing closed)
6) Rebuttal, if requested

7) Council discussion
8) Council decision

Other Issues and Considerations:
None noted.

Applicable Council Priority and Goal:
Consistency with Comprehensive Plan and Development Code standards.

Decision Options:
1) Adopt the ordinance as presented; or
2) Amend the ordinance and adopt as amended; or
3) Deny the ordinance; or
4) Continue consideration of the ordinance to a date certain.

Council's Recommended Action:
A) A motion that, based on the application received and the preceding analysis, the proposed rezone from R-H (Residential High Density) to PUD (Planned Unit Development) for a 20.662-acre acre tract meets Development Code Section 18.30.050(c)(3) a, b, e, f, h and g; and, therefore, the rezone is approved.
B) A motion to adopt the ordinance and publish with reference to title only.

Attachments:
Ordinance
Planning Commission Minutes-Draft (July 14, 2020)
Planning Commission Summary (Staff Report) (July 14, 2020)
PowerPoint Presentation

CITY OF GREELEY, COLORADO

ORDINANCE NO. ____, 2020

CASE NO. ZON2020-0008

AN ORDINANCE CHANGING THE OFFICIAL ZONING MAP OF THE CITY OF GREELEY, COLORADO, FROM R-H (RESIDENTIAL HIGH DENSITY) TO PUD (PLANNED UNIT DEVELOPMENT) FOR 20.662 ACRES OF PROPERTY LOCATED WEST OF NORTH 35TH AVENUE AND SOUTH OF C STREET, KNOWN AS THE STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1, LOT 4 REZONE

BE IT ORDAINED BY THE CITY COUNCIL OF GREELEY, COLORADO:

Section 1. The following described property located in the City of Greeley is hereby changed from the zoning district referred to as R-H (Residential High Density) to PUD (Planned Unit Development) zoning for 20.662 acres of property, in the City of Greeley, County of Weld, State of Colorado:

See attached legal description

Section 2. The boundaries of the pertinent zoning districts as shown on the official zoning map are hereby changed so as to accomplish the above-described zoning changes, and the Mayor and City Clerk are hereby authorized and directed to sign and attest an entry which shall be made on the official zoning map to reflect this change.

Section 3. This ordinance shall become effective five (5) days after its final publication as provided by the Greeley City Charter.

PASSED AND ADOPTED, SIGNED AND APPROVED, THIS _____ DAY OF _____, 2020.

ATTEST: THE CITY OF GREELEY

_____ _____

City Clerk Mayor

Legal Description

LOT 4, BLOCK 1, STONEYBROOK SUBDIVISION FILING NO. 1, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO AS RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER ON JULY 7, 1999 AT RECEPTION NUMBER 2710177.

SAID DESCRIBED PARCEL CONTAINS 20.662 ACRES, MORE OR LESS (±).

PLANNING COMMISSION
Proceedings

July 14, 2020

Council Chambers – City Center South
1001 11th Avenue
1:15 p.m.

DRAFT

I. Call to Order and Roll Call

Chair Yeater called the meeting to order at 1:15 p.m. Commissioners Andersen, Briscoe, Franzen, Modlin and Romulo were present. (Commissioner Schulte was absent.)

II. Approval of minutes for meeting held on June 23, 2020

Commissioner Briscoe moved to approve the minutes dated June 23, 2020. Commissioner Romulo seconded. The motion carried 6-0. (Commissioner Schulte was absent.)

III. Approval of minutes for meeting held on June 30, 2020

Commissioner Briscoe moved to approve the minutes of the special hearing dated June 30, 2020. Commissioner Romulo seconded. The motion carried 6-0. (Commissioner Schulte was absent.)

IV. A public hearing to consider a rezone of approximately 20.7 acres from R-H (Residential High Density) to PUD (Planned Unit Development)

Project Name:	Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Rezone
Case No.:	ZON2020-0008
Applicant:	Bob Eck, Stoneybrook 234 LLC
Location:	West of 35th Avenue, south of "C" Street
Presenter:	Caleb Jackson, Planner II

Prior to the presentation, Chair Yeater advised that he would recuse himself from hearing Items III and IV and Vice Chair Briscoe presided over the meeting. Caleb Jackson addressed the Commission and requested to combine the presentations for Items III and IV, adding that two motions would be required.

Mr. Jackson described both items and provided a brief history of the site beginning with its annexation to the City in 1985. He went on to describe the site and surrounding areas and also presented several photographs of the parcel. Mr. Jackson described the proposal to rezone the site from Residential High Density (R-H) to Planned Unit Development (PUD) and explained that a Preliminary PUD was being proposed to allow for 142 mobile home sites on the property.

Mr. Jackson added that there would be no vehicle access directly off of 35th Avenue. He briefly discussed the proposed amenities, including trails and pedestrian connectivity, parks and open space areas. He stated that the City will be widening 35th Avenue adjacent to the site that will include roundabout at C Street, adding that the widening project would necessitate removal of some of the trees. The applicant is working with the City forester on replacement of trees.

Mr. Jackson described the various approval criteria for a rezone and a PUD, adding that the Strategic Housing Plan adopted by the City establishes goals of encouraging mobile home development. He stated that the Comprehensive Plan also supports this type of development and noted that adequate infrastructure is in place to service the development.

The proposals were reviewed by the Administrative Review Team and all comments were addressed. Notices were mailed to property owners within 500 feet of the site and two signs were posted. Notices were also sent to mineral owners. Staff received no inquiries and recommended approval. Caleb reminded the Commission that two motions would be required.

Upon question by Commissioner Andersen about the difference between a mobile home community and structures in a residential high density zone district, Mr. Jackson advised that R-H zoning allows for high density housing such as apartments, townhomes, and other stick-built architecture, but does not include mobile or modular homes. He added that the original Stoneybrook subdivision was first zoned PUD and later changed to R-H. Commissioner Andersen asked whether these types of zoning issues will be addressed in the Development Code update and Mr. Jackson stated that best practices would be identified and considered as part of the Code update.

Commissioner Modlin asked whether the PUD will provide for any flexibility regarding lot sizes and characteristics to accommodate larger or different shaped mobile homes. Mr. Jackson reported that there is some flexibility, but that these are not typical home sites but a land-lease situation. Commissioner Andersen asked whether the land will be owned by a single owner and rented to each mobile home owner. Mr. Jackson believed that to be the case and invited her to confirm with the applicant.

Commissioner Briscoe referred to the extensive engineering report relating to the floodplain and asked Mr. Jackson to briefly summarize and provide an overview of the impacts and potential risks to the development. Mr. Jackson pointed out the floodplain along C Street on the rezone map and stated that the impacts to the property are minimal. He suggested that someone from Engineering Development Review or the applicant might be able to provide more detailed information.

Commissioners Romulo and Andersen both asked about impacts to adjacent property. Mr. Jackson invited one of the applicant's representatives to the podium.

Will Wagenlander from David Evans and Associates, the applicant's representative, addressed the Commission and provided a brief visual presentation. Mr. Wagenlander stated that the development will fulfill a number of strategies identified in the City's Strategic Housing Plan by providing affordable housing and diversified housing options. He added that the applicant would bring two-thirds of the required raw water to the City.

Mr. Wagenlander advised that there would be a 15-foot easement along 35th Avenue for widening the road and adding curb, gutter and sidewalks. In addition, as part of the school impact fees recently adopted by Weld Re-6 School District, Mr. Wagenlander advised that the applicant would provide $2500 per home unit to the school district. He added that this infill development will contribute to the community. The applicant has entered into an agreement with RHP, the mobile home manufacturer that currently owns Stoneybrook and Friendly Village mobile home parks. The residents of the proposed development will have access to the existing Stoneybrook recreation center and pool as well as close proximity to the Poudre Trail and transit stops. Mr. Wagenlander stated that a metropolitan district was not being requested and that infrastructure would be financed by the owner. He briefly described other amenities and presented renderings of the open space areas and conceptual elevations of the manufactured homes. Mr. Wagenlander also mentioned that some of the trees along 35th Avenue had been relocated.

Upon question by Commissioner Modlin, Mr. Wagenlander advised that the mobile home pads are 16 feet x 76 feet. Commissioner Modlin pointed out that the plans seemed to show different lot sizes that could allow for placement of different size homes. Mr. Wagenlander advised that slabs would not be poured until a site was ready to be developed. Commissioner Modlin asked whether larger lots might have more flexibility as to size and configuration of a home placed on the site. Mr. Wagenlander stated that there would be limited flexibility, but that the intent was to create a community that exemplifies a certain aesthetic.

Commissioner Briscoe asked whether lot rent for each site had been identified and also about the average cost per dwelling to be purchased. He asked the applicant to explain the model and how it would work for someone wishing to purchase a home in the community.

The applicant, Bob Eck, 12650 West 64th Avenue, Arvada, Colorado, addressed the Commission and stated that lot rent would be in the area of $500-$600 per month. He explained that in a land/lease community, the land where a home sits is owned by a single owner and the mobile home is purchased by the resident. The monthly fee is rental for the site the home sits upon. He added that the monthly fee can include a number of things such as amenities and utilities. Upon question by Commissioner Franzen, Mr. Eck stated that there would be a homeowners' association. Commissioner Franzen also asked about the average cost of a mobile home. Mr. Eck advised that the approximate price of a 1300-1400 square foot unit was in the low $100,000 range. He added that typically financing applies only to the unit and not the land, making it more affordable and easier for a buyer to qualify.

DRAFT

Commissioner Modlin asked whether there was sufficient room for on street parking if vehicles are parked on both sides of the street. Mr. Eck advised that the proposed road width meets the City standard. He noted that every unit also has two off street tandem parking spaces. There was discussion about whether there might be room for side-by-side parking as opposed to tandem parking. Mr. Eck agreed that some lots were large enough to accommodate a side-by-side driveway configuration. Commissioner Modlin expressed concern that the tandem driveway parking configuration could cause an increase in vehicles parking on the street.

Upon question by Commissioner Anderson, Mr. Eck stated that he had no preference about a traffic signal or roundabout at C Street, but added that it can be difficult to maneuver a 76-foot-long mobile home though a roundabout. He stated that some of the trees on the site had been removed, including the tree with the raptor nest, and that the remaining trees were on City property.

Matt Buster, civil engineer with David Evans and Associates, addressed the Commission and responded to questions about the floodplain, noting that C Street is the limiting barrier under the existing FEMA floodplain as well as the CHAMP (Colorado Hazard Mapping Program) model study being developed. He reported that in both cases, the floodplain is bounded by curb and gutter on C Street and extends further north, impacting Lots 2 and 3 of the Stoneybrook subdivision which are also owned by the applicant.

Commissioner Romulo noted the floodplain map showing a lot of impervious surface area on the property to the west and north and asked how that might impact the site. Mr. Buster indicated that the imperviousness mainly impacts the hydrology of the river and stated that the property to the north is currently undeveloped. He added that what is modeled in the current hydrology shows the current conditions that exist today. Regarding the sidewalk width, Mr. Buster reported that the five-foot sidewalks meet ADA requirements.

Vice Chair Briscoe opened the public hearing opened at 1:58 p.m. There being no public input or e-mail communication, the public hearing was closed at 1:58 p.m.

Upon question by Commissioner Modlin, Mr. Jackson advised that some of the points discussed would be addressed at the Final PUD stage. Commissioner Andersen observed that since there will be changes with the Development Code update, it is necessary to approve the rezone and Preliminary PUD now to allow the developer to do what is necessary under the existing Development Code.

Commissioner Andersen moved that, based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone meets Development Code Section 18.30.050(c)(3) a, b, e, f, h and g; and, therefore, recommends approval to City Council. Commissioner Franzen seconded. The motion carried 5-0. (Chair Yeater recused himself and Commissioner Schulte was absent.)

DRAFT

Commissioner Andersen moved that, based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Preliminary PUD meets Development Code Section 18.32.040(b); and, therefore, recommends approval to City Council. Commissioner Franzen seconded. The motion carried 5-0. (Chair Yeater recused himself and Commissioner Schulte was absent.)

V. A public hearing to consider a Preliminary PUD allowing for a mobile home community on a 20.7-acre parcel

Project Name:	Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Preliminary PUD
Case No.:	PUD2019-0004
Applicant:	Bob Eck, Stoneybrook 234 LLC
Location:	West of 35th Avenue, south of "C" Street
Presenter:	Caleb Jackson, Planner II

Chair Yeater returned to the hearing. Briscoe turned meeting over to Yeater who introduced the next item.

DRAFT

PLANNING COMMISSION SUMMARY

ITEMS: Rezone property from R-H (Residential High Density) to PUD (Planned Unit Development) and a Preliminary PUD

FILE NUMBER: ZON2020-0008 & PUD2019-0004

PROJECT: Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone & Preliminary PUD

LOCATION: West of N 35th Avenue, South of C Street

APPLICANT: Bob Eck of Stoneybrook 234 LLC

CASE PLANNER: Caleb Jackson, AICP | Planner II

PLANNING COMMISSION HEARING DATE: July 14, 2020

PLANNING COMMISSION FUNCTION:
The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make recommendations to the City Council regarding the applications in the form of a finding based on the review criteria in Sections 18.30.050(c)(3) and 18.32.040(b) of the Development Code.

EXECUTIVE SUMMARY
The City of Greeley is considering a request from Bob Eck of Stoneybrook 234 LLC to rezone approximately 20.7 acres of land from R-H (Residential High Density) to PUD (Planned Unit Development) and establish a Preliminary PUD allowing a mobile home community consisting of approximately 142 dwelling units located at the southwest corner of N 35th Avenue at C Street.

A. REQUEST
The applicant is requesting approval to rezone approximately 20.7 acres located at the southwest corner of N 35th Avenue at C Street (see Attachments A & B) from R-H (Residential High Density) to PUD (Planned Unit Development) and establish a Preliminary PUD allowing a mobile home community consisting of approximately 142 dwelling units. A Final PUD would be required within 3 years of the date of approval of a Preliminary PUD.

The proposed Preliminary PUD (see Attachment C) consists of a single lot with approximately 142 sites for mobile homes served by private streets. Open space, trail connections, and amenities

are incorporated into the project to allow for pedestrian connectivity, outdoor activity, and access to the Broadview Acres Trail being extended by the City adjacent to the site with construction beginning in Fall 2020. Vehicular access is proposed from C Street.

As highlighted by the Strategic Housing Plan in 2019, the base code standards for mobile home communities are outdated and prohibitive. As such, staff recommended that the applicant pursue a PUD to establish modern standards that facilitate development of the mobile home community while ensuring a high-quality development. Identified deviations from typical code standards are outlined on Page 3 of the Preliminary PUD (see Attachment C).

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning/Land Use:

North: R-MH (Residential Mobile Home Community)
South: C-L (Commercial Low Intensity), I-M (Industrial Medium Intensity), & R-L (Residential Low Density)
East: R-MH (Residential Mobile Home Community)
West: R-MH (Residential Mobile Home Community)

Site Characteristics:

The site is presently undeveloped and slopes northward with the highline being along the south property line adjacent to the Greeley #3 Ditch. A small section on the north side of the property, where C Street is located, sits within the 100-year floodplain.

Surrounding Land Uses:

North: Retention Pond
South: Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility
East: Mobile Home Community
West: Mobile Home Community

D. BACKGROUND

The subject property was annexed into the City of Greeley as part of the Putnam Farm Annexation in 1985 by Ordinance No. 85. The subject property was zoned R-3 (Multi-Family Residential) upon annexation by Ordinance No. 97, 1985. With the adoption of the Zoning Code of 1998, the R-3 Zoning District transitioned to the R-H Zoning District. The site has remained undeveloped without concrete development proposals prior to this request.

E. APPROVAL CRITERIA

Rezone Criteria:

In accordance with §18.30.050, the following criteria, as applicable, should be used to evaluate the rezoning request:

a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

Staff Comment: The subject area has changed since the initial zoning in 1985, with the successful completion of a mobile home community to the west of the subject site, and additional development in the vicinity such as the fire training facility. Rezoning is in the public interest to encourage development of the subject site, and facilitate development of manufactured home communities as described in the Strategic Housing Plan.

The proposed request complies with this criterion.

b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

Staff Comment: The existing R-H zoning has been in place since annexation in 1985. The current zoning appears obsolete considering that the site remains vacant, while adjacent sites successfully operate as mobile home communities.

The request complies with this criterion.

c. Are there clerical or technical errors to correct?

Staff Comment: The proposal is not related to correcting clerical or technical errors.

This criterion is not applicable.

d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: The 100-year floodplain skirts the northern edge of the property and some steep slopes are present at the southern edge of the property; however, these factors do not impact

development of the bulk of the site and were present during the consideration of the original zoning.

This criterion is not applicable.

e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The proposal is not associated with a community related use. However, the Imagine Greeley Comprehensive Plan adopted subsequent to the existing zoning identifies the subject site for Suburban Neighborhood, which generally envisions residential densities more in line with the proposed zoning than those possible if the site was developed with multi-family dwellings as permitted by the current zoning. Furthermore, the Strategic Housing Plan was adopted in 2019 that encourages the facilitation of manufactured home communities.

The proposal complies with this criterion.

f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?

Staff Comment: The proposal would generally present lesser impacts to the neighborhood than if the property were to be developed with multi-family dwellings, as allowed under the present zoning. The proposed mobile home community is consistent with the area, being adjacent to two existing mobile home communities. Noise generation is anticipated to be comparable to existing adjacent developments, and adverse visual impacts are not anticipated, especially with the proposed landscaping provided along the public thoroughfare adjacent to the site, N 35th Avenue (see Attachment C). No adverse environmental impacts are expected, and the ecological impacts are proposed to be mitigated per the biologist's recommendations (see Attachment G).

Impacts to the City services such as police, fire, water, sewer, street and pedestrian systems, and parks and recreation facilities are expected to be less intense than if the property were to be developed with multi-family dwellings as allowed by the current zoning. Adequate services currently exist to support the proposed development, and additional infrastructure will soon be constructed in the immediate vicinity. Upcoming capital projects include widening N 35th Avenue, the provision of non-potable lines, and the extension of the Broadview Acres Trail.

The proposal complies with this criterion.

g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?

Staff Comment: The proposal is consistent with the Imagine Greeley Comprehensive Plan and its sub-elements, specifically the Strategic Housing Plan regarding the facilitation of developing manufactured home communities. The only overlay on the subject property is related to the 100-year floodplain which does not impact development of the site as proposed. The proposal is supported by the following specific Imagine Greeley Comprehensive Plan goals and objectives:

Goal ED-3: Attract and maintain an employed, skilled, and adaptable workforce.

> Objective ED-3.1 Diverse Workforce
> Provide diverse economic opportunities, jobs, and housing and transportation options to ensure that Greeley is attractive to and inclusive of a diverse workforce.

Goal GC-1: Manage growth effectively.

> Objective GC-1.2 Form of Growth
> Encourage a compact urban form over sprawl or leap-frog development.
>
> Objective GC-1.3 Adequate Public Facilities
> Restrict development to the Adequate Public Facilities Area (APFA) except where the developer provides the equivalent level, or cash-in-lieu at a rate determined by the City, to install infrastructure that would otherwise be provided by the City.
>
> Objective GC-1.6 Transitions to Parks and Open Lands
> Ensure that new development abutting land that is intended to remain undeveloped, such as parks, open lands, environmentally sensitive areas, and agricultural land with conservation easements, provides for transitions in uses and intensity that mitigate impacts on these adjacent areas.

Goal GC-2: Promote a balanced mix and distribution of land uses.

> Objective GC-2.2 Jobs/Housing Balance
> Support zoning and development patterns that expand opportunities for people who live in Greeley to also work in Greeley (or vice versa).

Goal GC-3: Promote new development, infrastructure investments, and public improvements that enhance the character of the community.

> Objective GC-3.4 Tree City
> Reinforce the community's image as a "Tree City" by promoting the establishment and maintenance of tree-lined travel corridors throughout the community, taking into consideration water use, conservation strategies, and the natural environment.

Goal GC-6: Maintain and enhance the character and inter-connectivity of Greeley's neighborhoods.

> Objective GC-6.2 Neighborhood Connectivity
> Promote design standards and practices that improve connectivity for all modes between neighborhoods and adjacent neighborhoods, centers, corridors, and areas.

Goal HO-2: Encourage a broad diversity of housing options.

> Objective HO-2.1 Diversity in New Development
> Encourage a variety of housing types, sizes, styles, and price-points of housing units within new residential projects or subdivisions. Ensure that Greeley has neighborhoods and/or development sites available and attractive to its desired workforce, including higher-end housing for executives and other high-paid workers.

Goal NR-1: Protect, conserve, maintain, and improve the quality and quantity of water available to Greeley.

> Objective NR-1.4 Non-Potable Water
> Assertively promote the use of non-potable water for irrigation as a viable and efficient alternative to treated water.

Goal NR-3: Demonstrate stewardship of the environment.

> Objective NR-3.7 Urban Forest
> Protect, maintain, and expand the urban forest within and around the city.

Goal TM-1: Develop and maintain an accessible, integrated, safe, and efficient transportation system.

Objective TM-1.2 Pedestrian Movements
Ensure pedestrian movement and accessibility is considered in the design and construction of all public and private development projects. Ample and safe sidewalks and other pedestrian pathways within and between developments should be provided.

Goal TM-3: Ensure that land use and transportation decisions, strategies, and investments are coordinated and complementary.

Objective TM-3.2 Supportive Development
Ensure that all proposed development projects demonstrate the ability to accommodate pedestrian and bicycle travel.

The proposal complies with this criterion.

h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

Staff Comment: The property can be successfully developed as shown on the Zoning Suitability Plan (see Attachment F).

The proposal complies with this criterion.

PUD Criteria

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section l 8.30.050 which are outlined above applicable to the rezoning of land:

i. The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.

Staff Comment: The proposal meets this requirement. The area of the proposed PUD is approximately 20.7 acres.

j. PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal

design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.

Staff Comment: The Land Use Guidance Map identifies the site for Suburban Neighborhood and envisions densities typically between 2 and 5 dwelling units per acre with up to 10 units per acre in some locations. The proposed PUD nets approximately 6.9 units per acre, which is consistent with the Suburban Neighborhood classification and is less dense than could be expected with multi-family development permitted by the current R-H zoning.

F. PHYSICAL SITE CHARACTERISTICS

HAZARDS

Some steeps slopes are located on the southern edge of the site that are proposed to be incorporated into the landscape buffer. An unhealthy cottonwood tree was removed from the site. No additional hazards are present impacting the proposed development.

WILDLIFE

The subject site is identified on the Areas of Ecological Significance Map as an area with potentially significant natural features that could be moderately impacted by development. The applicant provided a biologist's report (see Attachment G) in accordance with §18.48.050(b) of the Development Code that identified appropriate practices to mitigate the impact of development on the ecological value of the site especially regarding the black-tailed prairie dog colony and a raptor's nest on the site. The tree containing the inactive raptor's nest was unhealthy and removed outside of the nesting season in compliance with the recommendations and the prairie dog colony cannot be removed during the burrowing owl nesting season of May 15 to September 15, without professional confirmation concluding no burrowing owl activity is occurring.

FLOODPLAIN

A small portion of the property is located within the l00-year floodplain, according to the adopted Federal Emergency Management Administration (FEMA) flood data. The floodplain skirts the northern edge of the site, along C Street, and should not impact the proposal. The applicant has diligently consulted with the City of Greeley's Floodplain Administrator and has adequately addressed floodplain standards.

DRAINAGE AND EROSION

Increases in stormwater flows from development are proposed to be addressed by an on-site detention and water quality pond at the northeast corner of the property (see Attachment I). Erosion control devices are required and are reviewed by the City to ensure that best management practices are utilized as the project progresses (see Attachment H).

TRANSPORTATION
The applicant proposes automobile access to the site via C Street. The applicant continues to coordinate with Public Works Department as the City intends to widen N 35th Avenue adjacent to the proposal, including a roundabout at C Street in 2021. The site is directly served by a Greeley-Evans Transit bus stop along N 35th Avenue. Bicycle lanes are proposed to be included in the widening of N 35th Avenue. Bicycle traffic can also access the site from connections to the Broadview Acres Trail, which is proposed for extension adjacent to the site with construction beginning in Fall 2020. Pedestrian access to the site is proposed to be facilitated by sidewalk connections to C Street and two accesses to Broadview Acres Trail.

The applicant has diligently consulted with the Public Works Department and has adequately addressed transportation criteria (see Attachment K).

G. SERVICES

WATER
Adequate City of Greeley water infrastructure is present to serve the proposed development. The City intends to install non-potable infrastructure with the widening of N 35th Avenue in 2021 and has discussed opportunities with the applicant. The applicant would continue to work with the Water & Sewer Department to finalize the design for the Final PUD.

SEWER
Adequate City of Greeley sewer infrastructure is present to serve the proposed development. The applicant would continue to work with the Water & Sewer Department to finalize the design for the Final PUD.

EMERGENCY SERVICES
The property is served by Greeley Police and Fire Departments. Fire Station #3 is located along N 35th Avenue immediately southeast of the subject site. Sufficient access is provided for emergency vehicles to reach the proposed development.

PARKS, TRAILS, AND OPEN SPACES
The site is served by the Broadview Acres Trail, which currently terminates near the southeast corner of the site at N 35th Avenue. The site will be further served by the anticipated extension of the Broadview Acres Trail along the Greeley #3 Ditch, which is located immediately adjacent to the site and will be constructed beginning in Fall 2020. Additionally, the Larson Trail is approximately 500 yards west of the site. The nearest public park, Ramseier Farm Park, is located about one-half mile east of the subject site.

The lot was previously zoned and platted for residential development and is not subject to land dedication or cash-in-lieu for parkland.

The proposed development would also feature significant on-site open space and amenities, and residents may access amenities such as the recreation center and pool in the adjacent Stoneybrook development.

SCHOOLS

The subject site is within the boundaries of Greeley-Evans School District 6. The site is currently zoned R-H (Residential High Density), and the proposal is not anticipated to significantly alter the number of students when compared to developing under the current zoning. The applicant intends to finalize an agreement to pay cash-in-lieu towards school land.

H. NEIGHBORHOOD IMPACTS

VISUAL

The proposed use is consistent with the area and adverse visual impacts are not anticipated by the proposed development. The proposal includes significant landscaping on the perimeter of the site, providing an attractive environment along N 35th Avenue, which is the only public thoroughfare adjacent to the subject site.

NOISE

The proposed use is not anticipated to generate excessive noise. Noise created by the proposed use will be regulated by the Municipal Code enforceable by the Greeley Police Department.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices for this hearing were mailed to surrounding landowners on June 26 and notice was provided in the newspaper per Development Code standards. Signs were posted on the site on June 30. The applicant notified the mineral owner of this hearing in accordance with Development Code standards.

No comments were received prior to finalizing this report.

J. PLANNING COMMISSION RECOMMENDED MOTIONS

The proposal encompasses two agenda items and requires two separate motions. The first motion is related to the rezoning, and the second motion is related to the Preliminary PUD.

Rezone:
Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone meets Development Code Section 18.30.050(c)(3) a, b, e, f, h and g and therefore recommends approval to City Council.

Preliminary PUD:
Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Preliminary PUD meets Development Code Section 18.32.040(b) and therefore recommends approval to City Council.

ATTACHMENTS
Attachment A – Vicinity Map
Attachment B – Project Narrative
Attachment C – Preliminary PUD
Attachment D – Property Boundary Map
Attachment E – Site Analysis Map
Attachment F – Zoning Suitability Map
Attachment G – Biologist's Report
Attachment H – Grading, Erosion, and Sediment Control Plans
Attachment I – Preliminary Drainage Report
Attachment J – Stormwater Management Plan
Attachment K – Traffic Impact Study
Attachment L – N 35th Ave Widening Plans

VICINITY MAP

Attachment A

DAVID EVANS AND ASSOCIATES INC.

July 7, 2020

City of Greeley
Department of Community Development
Planning Services Division
Attn: Mike Garrott, Planning Manager
1100 10th Street -2nd Floor
Greeley, CO 80631

Re: **Stoneybrook Lot 4 Manufactured Home Community Preliminary PUD**

Project Narrative:

Stoneybrook 234, LLC is submitting this Preliminary Planned Unit Development (PUD) application for Lot 4, Block 1 of the Stoneybrook Filing No. 1 subdivision. This 20.657 acre parcel of land is located in the City of Greeley and the applicant proposes to rezone the property from R-H to a PUD in order to provide an affordable housing alternative in response to the residential market demands of the greater Greeley community. Lot 4, Block 1, of Stoneybrook Subdivision Filing No. 1 is situated in the Northeast Quarter of Section 2, Township 5 North, Range 66 West of the 6th P.M., City of Greeley, County of Weld, State of Colorado.

The applicant proposes to develop a manufactured home community on the subject property. The existing Stoneybrook manufactured home community lies west and is directly adjacent to the property. Friendly Village, another existing manufactured home community is to the east, just across North 35th Avenue. Greeley #3 Ditch lies to the south and will be the location of the City's future Broadview Acres regional multi-modal trail. The northern edge of the subject property is bounded by C Street. C Street is a private street which currently provides access to the existing Stoneybrook community. Just north of C Street lies a City of Greeley detention pond as well as undeveloped land.

The applicant is proposing to develop 142 manufactured home sites, leasing land as required for each of the 142 manufactured home sites. Manufactured homes sites are in high demand in the greater Greeley area and the proposed development will assist the City of Greeley in meeting the demand for this important affordable housing option. The subject property and its envisioned design blends well with the existing contextual built environment and fit the character of proximal neighborhoods and their associated land uses. Home sites have been designed to maximize their flexibility in accommodating the varying dimensions and architectural elevations of manufactured homes. Flexibility will allow residents multiple floor plan options and architectural styles to accommodate their specific needs. Flexibility also allows the development to accommodate the needs of multiple income levels, household sizes, and building types. The properties direct proximity to the Broadview Acres Regional Trail provides residents access to recreational opportunities and provides bike and pedestrian connections to schools, employment, and other services. Close proximity of the trail will provide enhanced mobility options for residents. On the east side of the project, a connection will be provided to GET's Route 3 bus stop located along North 35th Avenue. Access to the transit amenity and will be important for community residents as it provides convenient connections to the Rodarte Transfer Center, large employers, the Greeley Mall Transit Center, and transfers to GET's Route 1. At the southwest corner of the property a new pedestrian / trail connection will be provided to access the planned Broadview Acres Trail and at the southeastern corner of the property an additional trail connection will be provided to access the Broadview Acres Trail.

The subject property falls in elevation from the south to the north east (*from the Greeley Ditch #3 towards the intersection of C Street and North 35th Avenue*). Mature existing trees line the properties frontage along North 35th Avenue. Many of these trees are non-native species that will be removed during construction and replaced with climate-appropriate species. A large number of mature, specimen quality trees have been removed by the City of Greeley and have been relocated to City of Greeley owned facilities. Large cottonwood trees also exist along the Greeley Ditch. A few of these trees are in poor health and will need to be removed during construction. The reminder of the site is relatively free of mature vegetation and is covered by native / non-native grasses. The southern street frontage, immediately adjacent to C Street was improved as part of the development of the original Stoneybrook community. In this area grass turf, streetlights, and a small attached sidewalk exists. Many of these elements will be replaced as part of this development.

The proposed design of the subject property will match historic storm water flows by conveying water to the north east corner of the development (south west corner of North 35th Avenue and C Street) where an extended detention basin will be constructed and will provide storage for water quality capture volume, excess urban runoff volume and detention volume for the 100-year storm event. The pond will outlet to the existing 60" x 84" reinforced concrete box culvert located on the east side of North 35th Avenue. Vehicular access to the site will avoid impacting North 35th Avenue by providing access at two locations along C Street where the existing median breaks. Community monument signs will be placed at each of these intersections. A community map for emergency service providers and visiting guests will be also located at both entrances to the community along C Street.

A large community park for neighborhood residents including a playground, tables and grills, a picnic shelter, extensive landscaping, grass turf, and additional soft scape is proposed just west of the main entrance. The park will be oriented to provide views of the water feature north of C Street and will serve as the community's front door for residents and visitors alike. A long linear space will move from west to east along the south side of C Street, terminating at the new community park. This linear space will create a visually attractive buffer that serves pedestrians and cyclists with a multi-modal path that connects to the existing sidewalk of the neighboring Stoneybrook community as well as North 35th Avenue. A community pocket park will also be located interior to the site and will include gathering sites and horseshoe pits. Two smaller pocket parks are located at the south west and south east corners of the property and will provide pedestrian and bicycle access to the forthcoming Broadview Acres Regional Trail. The pocket park located at the south east corner of the property will provide a bike maintenance station as well as a small play park for children. A well landscaped arterial / collector buffer will also run the length of the property's east side along North 35th Avenue. The current design for this buffer takes into account the City of Greeley's future expansion of North 35th Avenue. A 15-foot strip of land along the eastern edge of the property is proposed to be dedicated to the City of Greeley for its associated ROW needs for future 35th Avenue roadway expansion.

The potable water distribution system and sanitary sewer collection system will be designed and constructed in accordance with City of Greeley standards and will be provided by Greeley Water and Sewer. Electrical service will be provided by Xcel Energy and Natural Gas Services will be provided by Atmos Energy. Telephone and telecommunication services will be provided by CenturyLink and Comcast. All necessary utilities required to serve the subject property currently exist along the property frontage. If you have any questions regarding the proposed plan, please feel free to call me at 720-225-4656.

Sincerely,

David Evans and Associates, Inc.

Matthew J. Buster, P.E.

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

GENERAL NOTES

1. ALL REFERENCES TO CITY OF GREELEY DEVELOPMENT CODE SHALL REFERENCE THE CODE DATED AUGUST 22, 2019.
2. STREET MAINTENANCE: IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND THE PRIVATE ROADWAY STANDARDS SHOWN HEREIN. THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE HOA ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE.
3. DRIVES, PARKING AREAS AND UTILITY EASEMENT MAINTENANCE: THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE HOMEOWNERS' ASSOCIATION OR ENTITY OTHER THAN THE CITY ARE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS AND EASEMENTS (CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
4. SIDEWALKS: ALL PROPOSED SIDEWALKS CONTAINED HEREIN SHALL BE ACCESSIBLE TO THE PUBLIC.
5. DRAINAGE MAINTENANCE: THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE DEVELOPMENT AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASIN. THE CITY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED. THE CITY SHALL NOTIFY THE PROPERTY OWNER IN WRITING AND SHALL INFORM THE OWNER THAT CORRECTIVE ACTION BY THE OWNER SHALL BE REQUIRED WITHIN TEN (10) WORKING DAYS OF RECEIPT OF NOTIFICATION FROM THE CITY, UNLESS AN EMERGENCY EXISTS, IN WHICH CASE CORRECTIVE ACTION SHALL BE TAKEN IMMEDIATELY UPON RECEIPT OF NOTIFICATION BY THE CITY. IF THE OWNER FAILS TO TAKE CORRECTIVE ACTION WITHIN TEN (10) WORKING DAYS, THE CITY MAY PROVIDE THE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.
6. DRAINAGE LIABILITY: THE CITY DOES NOT ASSUME ANY LIABILITY FOR DRAINAGE FACILITIES IMPROPERLY DESIGNED OR CONSTRUCTED. THE CITY REVIEWS DRAINAGE PLANS BUT CANNOT, ON BEHALF OF ANY APPLICANT, OWNER OR DEVELOPER, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW AND APPROVAL BY THE CITY WILL RELIEVE SAID APPLICANT, OWNER, OR DEVELOPER, THEIR SUCCESSORS AND ASSIGNS, FROM LIABILITY DUE TO IMPROPER DESIGN. CITY APPROVAL OF THIS PUD DOES NOT IMPLY APPROVAL OF THE DRAINAGE DESIGN WITHIN THE PUD.
7. LANDSCAPE MAINTENANCE: THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR ENTITY OTHER THAN THE CITY ARE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER LANDSCAPING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
8. SIGHT DISTANCE: THE CLEAR VISION ZONE OF A CORNER LOT, AS DETERMINED BY SECTION 18.44.090(B)(1) OF THE DEVELOPMENT CODE, SHALL BE FREE FROM SHRUBS, GROUND COVERS, BERMS, FENCES, SIGNS, STRUCTURES, PARKED VEHICLES OR OTHER MATERIALS OR ITEMS GREATER THAT THIRTY-SIX (36) INCHES IN HEIGHT FROM THE STREET LEVEL.
9. PUBLIC SAFETY: ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT ALL PRIVATE ACCESS WAYS IN THIS PROPERTY ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
10. DRAINAGE MASTER PLAN: THE POLICY OF THE CITY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:
    - DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE FINAL DRAINAGE REPORT, FINAL DRAINAGE PLAN AND THE STORM WATER MANAGEMENT PLAN.
    - DESIGN AND CONSTRUCT THE CONNECTION OF THE LOCAL DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY, SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGE WAY. THE CITY WILL REQUIRE THAT THE CONNECTION TO THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE PROPERTY.
11. STREET LIGHTING: ALL HOMESITES WITHIN THIS PUD ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PROPERTY, TOGETHER WITH RATES, RULES AND REGULATIONS THEREIN PROVIDED AND ARE SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNERS OR THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY, AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING WITHIN THE PROPERTY IN ACCORDANCE TO APPLICABLE RATES, RULES AND REGULATIONS, ON FILE WITH THE PUBLIC UTILITIES COMMISSION INCLUDING FUTURE AMENDMENTS AND CHANGES THERETO.
12. WATER OR SEWER MAIN EASEMENTS: THERE SHALL BE NO PERMANENT STRUCTURES, FENCES, LANDSCAPING (PLANTING OR BERMS) GREATER THAN THREE (3) FEET TALL MATURE GROWTH, DETENTION PONDS, OR OTHER ENCUMBRANCES LOCATED IN CITY OF GREELEY WATER OR SEWER MAIN EASEMENTS.
13. WATER OR SEWER MAINS IN PRIVATE ROADS OR EASEMENTS: THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE REPAIR OF PAVEMENT, PAVING OR OTHER IMPROVED SURFACES DAMAGED DURING THE REPAIR OF PUBLIC WATER OR SEWER MAINS LOCATED IN PRIVATE ROADS OR EASEMENTS, THE CITY OF GREELEY WATER AND SEWER DEPARTMENT WILL SAFELY BACKFILL THE TRENCH TO THE SURFACE, BUT WILL NOT REBUILD ANY SURFACE IMPROVEMENTS.

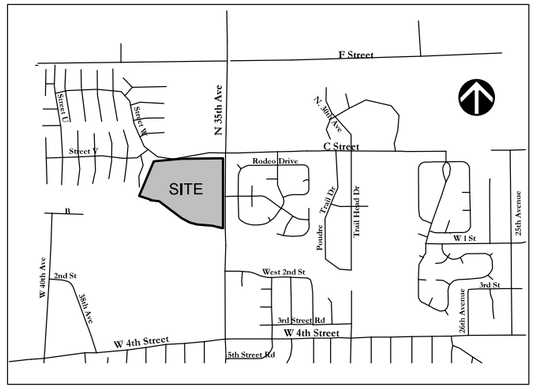
RAW WATER DEDICATION

GROSS LAND AREA OF LOT 4 = 20,662 ACRES
AREA TO BE DEDICATED TO CITY OF GREELEY AS PUBLIC RIGHT-OF-WAY = 0.381 ACRES
GROSS AREA OF LOT 4 AFTER RIGHT-OF-WAY DEDICATION = 20.281 ACRES
NECESSARY RAW WATER DEDICATION = 20.281 ACRES x 3 ACRE-FEET PER ACRE = 60.84 ACRE-FEET

TWO -THIRDS (2/3) OF THE TOTAL RAW WATER DEDICATION (40.56 ACRE-FEET) WILL BE PROVIDED BY TRANSFER OF EXISTING GREELEY IRRIGATION COMPANY WATER SHARES HELD BY OWNER. ONE SHARE OF GREELEY IRRIGATION COMPANY WATER, BY DECREE, YEILDS 10.31 ACRE-FEET. SHARES OF GREELEY IRRIGATION COMPANY WATER TO BE TRANSFERRED FROM OWNER TO CITY OF GREELEY = 40.56 ACRE-FEET / 10.31 = 3.93 SHARES = 4 SHARES.

ONE-THIRD (1/3) OF THE TOTAL RAW WATER DEDICATION (20.28 ACRE-FEET) WILL BE SATISFIED BY FEE-IN-LIEU PAYMENT AT THE TIME OF OBTAINING A BUILDING PERMIT FOR EACH OF THE 142 UNITS WITHIN THE PROPOSED COMMUNITY AT THE CITY'S PREVAILING FEE-IN-LIEU RATE. FEE-IN-LIEU PAYMENTS PER UNT (BASED UPON THE CITY OF GREELEY'S CURRENT FEE-IN-LIEU OF DEDICATION RATE OF $34,000 / ACRE-FOOT) TO BE PAID AT TIME OF BUILDING PERMIT EQUATES TO:

20.28 ACRE-FEET x $34,000/ACRE-FOOT = $689,520 / 142 UNITS = $4,855.77 PER UNIT.



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	MASTER PLAN
3	DESIGN GUIDLINES - NOTES
4	DESIGN GUIDELINES - STANDARDS
5	DESIGN GUIDLINES - ROADWAY DESIGN
6	OVERALL SITE PLAN
7	PRELIMINARY SITE PLAN 01
8	PRELIMINARY SITE PLAN 02
9	PRELIMINARY OVERALL UTILITY PLAN
10	PRELIMINARY UTILITY PLAN 01
11	PRELIMINARY UTILITY PLAN 02
12	PRELIMINARY DRAINAGE & GRADING PLAN
13	PRELIMINARY LANDSCAPE PLAN
14	PRELIMINARY LANDSCAPE AMENITY DETAILS 01
15	PRELIMINARY LANDSCAPE AMENITY DETAILS 02
16	PRELIMINARY SITE & LANDSCAPE DETAILS 01
17	PRELIMINARY SITE & LANDSCAPE DETAILS 02
18	CONCEPTUAL ARCHITECTUAL ELEVATIONS
19	ECOLOGICAL ASSESMENT

LEGAL DESCRIPTION

LOT 4, BLOCK 1, STONEYBROOK SUBDIVISION FILING NO. 1, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO AS RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER AT RECEPTION NUMBER 2710177 DATED JULY 7, 1999.

SAID DESCRIBED PARCEL CONTAINS 20.662 ACRES, MORE OR LESS (±).

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

CONSIDERING THE EAST LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, T.6N., R.66W., TO BEAR SOUTH 00°09'11" WEST AND MONUMENTED AS SHOWN ON THE STONEYBROOK SUBDIVISION FILING NO. 1 PLAT, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 1337.23 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

TITLE COMMITMENT NOTES

TITLE COMMITMENT NUMBER ABD25158080-4, DATED SEPTEMBER 6, 2018 AT 5:00 P.M., AS PREPARED BY LAND TITLE GUARANTEE COMPANY WAS RELIED UPON FOR THE DEPICTION OF EXISTING EASEMENTS AND PROPERTY ENCUMBRANCES AS SHOWN HEREON.

P.U.D. JUSTIFICATION

THE STONEYBROOK LOT 4 PLANNED UNIT DEVELOPMENT (PUD) HAS BEEN DEVELOPED AND DESIGNED TO CREATE A NEW MANUFACTURED HOME COMMUNITY WITHIN THE CITY OF GREELEY THAT IS INVITING, VIABLE, AFFORDABLE, ATTAINABLE, AND FLEXIBLE. THIS PUD IS IN HARMONY WITH EXISTING NEIGHBORING MANUFACTURED HOME COMMUNITIES TO THE EAST AND WEST. THE PUD ALLOWS FOR CREATIVE AND INNOVATIVE DESIGN SOLUTIONS THAT WILL RESULT IN A VIBRANT, DIVERSE, AND ATTAINABLE NEIGHBORHOOD FOR CURRENT AND FUTURE CITY OF GREELEY RESIDENTS.

THIS PUD INCLUDES A PLANNING AREA COMPOSED OF MANUFACTURED HOME SITES AND THEIR ASSOCIATED PARKING, DECKS, PATIOS, LAWNS, AND LANDSCAPING. HOMESITES AND USEABLE OPEN SPACE AREAS ARE PROPOSED WITH THIS PUD. USEABLE OPEN SPACE WILL INCLUDE A FULLY-PROGRAMMED COMMUNITY PARK, A COMMUNITY POCKET PARK, AND ENHANCED CONNECTIONS TO THE ADJACENT REGIONAL TRAIL SYSTEM. PROPOSED MANUFACTURED HOMESITES HAVE BEEN DESIGNED TO MAXIMIZE THEIR FLEXIBILITY, RESULTING IN THE DEVELOPMENT'S ABILITY TO ACCOMMODATE DIVERSE MANUFACTURED HOME CONFIGURATIONS, DIMENSIONS, AND ARCHITECTURAL ELEVATIONS. FLEXIBLE BUT WELL REGULATED HOUSING TYPES AND FORMS WILL CREATE A VISUALLY INTRIGUING NEIGHBORHOOD BOTH INTERNAL AND EXTERNAL TO THE PROPERTY. THE PLACEMENT OF MANUFACTURED HOMES ON LEASED-LAND AREAS WILL BE PURPOSEFUL AND WELL REGULATED PER THE PUD'S DESIGN STANDARDS. THE PUD STANDARDS HAVE BEEN DESIGNED TO PROVIDE FRONT, REAR AND SIDE YARD SETBACKS THAT WILL CREATE AMPLE GREEN SPACE AROUND STRUCTURES AND AREAS FOR ACCESSORY DECKS, PATIOS, AND LANDSCAPING. TWO OFF-STREET PARKING SPACES IN EITHER TANDEM OR SIDE-BY-SIDE CONFIGURATIONS WILL BE PROVIDED FOR EACH HOMESITE. PUD STANDARDS WILL BE APPLICABLE TO ALL HOMESITES, ENSURING A WELL-ORGANIZED, PURPOSEFUL, AND VISUALLY PLEASING COMMUNITY.

THE DEVELOPMENT WILL BE CONNECTED TO GREELEY'S FUTURE PLANNED BROADVIEW ACRES TRAIL LOCATED ALONG THE SOUTHERN BOUNDARY OF THE SITE. THIS REGIONAL MULTI-MODAL TRAIL AND GREENWAY WILL PROVIDE BICYCLE AND PEDESTRIAN ACCESS TO A RANGE OF RECREATIONAL OPPORTUNITIES AS WELL AS ACCESS TO SCHOOLS, EMPLOYMENT, AND OTHER SERVICES. THE DEVELOPMENT WILL PROVIDE TWO ACCESS POINTS TO THE TRAIL, ONE AT THE SOUTHWEST CORNER OF THE PROPERTY AND ONE AT THE SOUTHEAST CORNER OF THE PROPERTY. TRAIL CONNECTIONS WILL BE LINKED TO THE DEVELOPMENT'S INTERIOR SIDEWALK NETWORK TO PROVIDE SEAMLESS CONNECTIONS. THE INTERIOR PEDESTRIAN NETWORK WILL PROVIDE SIDEWALKS ALONG BOTH SIDES OF ALL STREETS, CONTRIBUTING TO A COMPLETE SYSTEM OF CONNECTIVITY THAT MEETS THE NEEDS OF NEIGHBORHOOD RESIDENTS. ALL VEHICULAR ACCESS TO THE PROPERTY WILL BE PROVIDED BY TWO DIRECT CONNECTIONS TO EXISTING C STREET. PROPOSED STREETS WITHIN THE COMMUNITY WILL BE PRIVATELY OWNED AND MAINTAINED.

THE PEDESTRIAN SYSTEM WILL PROVIDE ACCESS TO A NUMBER OF INTERNAL GREENSPACES. A COMMUNITY PARK IS LOCATED AT THE INTERSECTION OF C STREET AND THE EASTERN ACCESS. THE COMMUNITY PARK WILL INCLUDE A WAYFINDING/COMMUNITY SIGN, PLANTING BEDS, DIVERSE TREE SPECIES, A SHELTER, A PLAYGROUND, AND GRASS LAWNS. THE PLAN INCORPORATES LANDSCAPE BUFFER STANDARDS INTENDED TO ELEVATE THE INTERNAL AND EXTERNAL VISUAL AESTHETIC OF THE COMMUNITY. THESE BUFFERS ARE ADJACENT TO NORTH 35TH AVENUE AND THE BROADVIEW ACRES TRAIL. THE BUFFER ALONG NORTH 35TH AVENUE STREET FRONTAGE WILL INCORPORATE ADDITIONAL TREE PLANTINGS, AND TURF WITHIN AN ENHANCED GREENWAY TO BUFFER THE COMMUNITY FROM THE PROPOSED EXPANSION OF NORTH 35TH AVENUE. IN ADDITION TO THIS BUFFER AN ADDITIONAL 15' WIDE LAND AREA HAS BEEN RESERVED AND IS PROPOSED TO BE DEDICATED TO THE CITY OF GREELEY FOR ADDITIONAL RIGHT-OF-WAY REQUIRED FOR THE FUTURE EXPANSION OF NORTH 35TH AVENUE. LANDSCAPING WILL BE PLACED WITHIN BUFFER AREA 3 ADJACENT TO THE GREELEY IRRIGATION COMPANY NO. 3 CANAL PROPERTY AND THE BROADVIEW ACRES TRAIL IN ACCORDANCE WITH CITY OF GREELEY STANDARDS.

THE ABOVE COMBINED PUD ELEMENTS WILL WORK IN CONCERT TO CREATE AN ATTAINABLE, ACCESSIBLE, AND MARKET RESPONSIVE RESIDENTIAL COMMUNITY. STONEYBROOK LOT 4 WILL PROVIDE A WELL-DESIGNED AND ATTAINABLE HOUSING CHOICE THAT IS AN ASSET FOR BOTH THE CITY OF GREELEY AND ADJACENT NEIGHBORHOODS.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN, THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
FIRE MARSHALL — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

PROJECT TEAM

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15400 W. 64TH AVE, UNIT E9-123
ARVADA, CO 80007
CONTACT: ROBERT L. ECK II
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Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

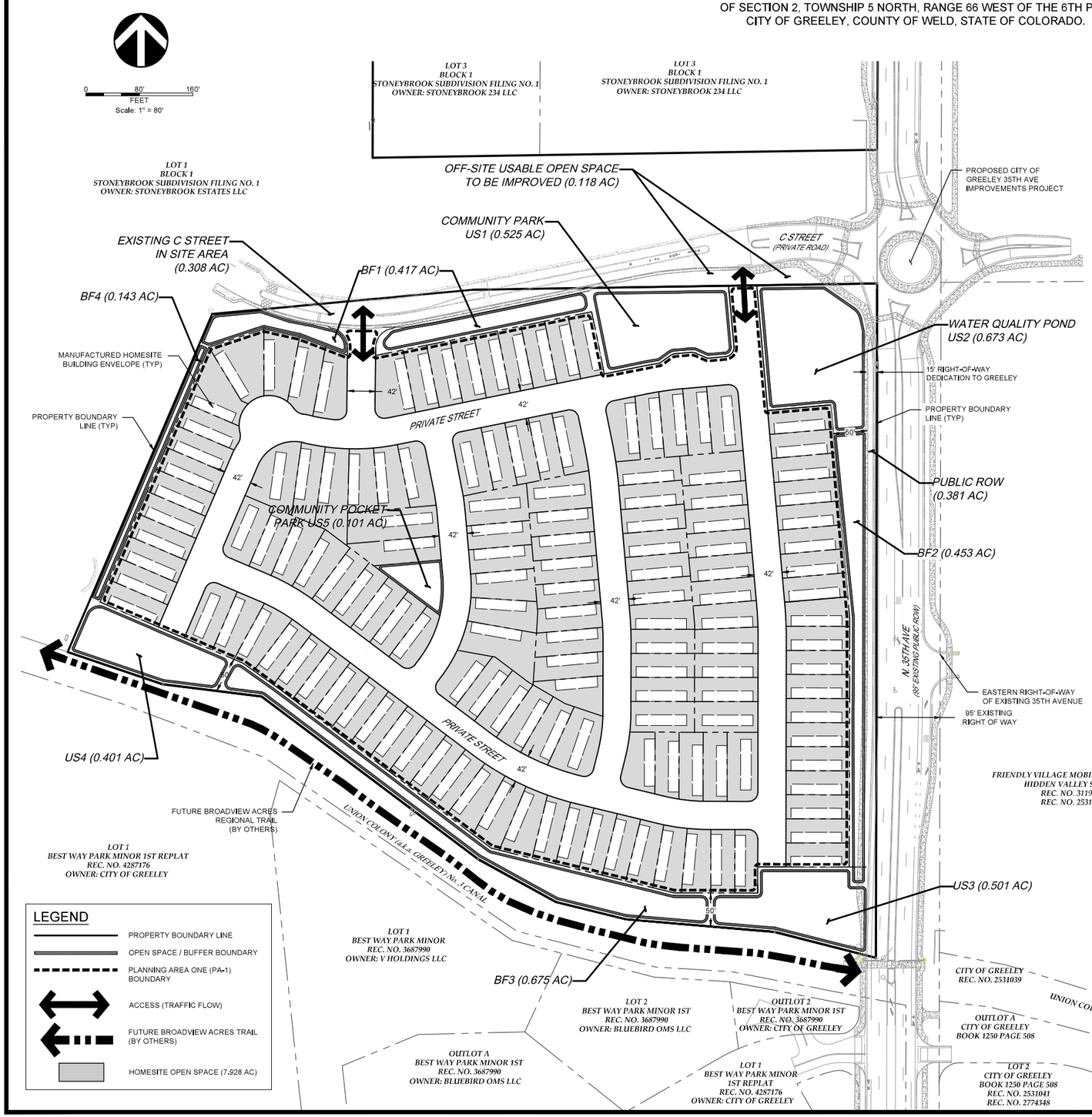
COVER SHEET

SHEET 1
1 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



Development Land Areas and Associated Requirements		
Development Summary	**Area (Acres)**	**Required (Acres)**
Total Site Area	20.662 AC	N/A
Total Roadway Area	3.880 AC	N/A
Building Envelopes Area	3.966 AC	N/A
Land Dedicated to 35th Avenue Widening	0.381 AC	N/A
Existing C Street in Site Area	0.308 AC	N/A
Total Open Space Area (Onsite) Provided	11.817 AC	5.166 AC (25% of Total Site Area)
Open Space Categories	**Provided (acres)**	**Required (Acres)**
On-Home Site Open Space	7.928 AC	N/A
Buffer Areas	1.688 AC	N/A
Usable Open Space Areas (Onsite)	2.201 AC	2.583 AC (50% of Required Total Open Space)
Usable Open Space Areas (Offsite)	0.120 AC	
Total Open Space Area Provided (Onsite & Offsite)	11.937 AC	5.166 AC (25% of Total Site Area)
Usable Open Space per Amenities Credit (12.5 amenities x 921 SF each)= 11,512.5 SF	0.264 AC	N/A

Home-Site Open Space	
Total Home Site Open Space	**7.928 AC**

Buffer Areas	
Buffer Areas	**Area (Acres)**
Buffer Area 1	0.417 AC
Buffer Area 2	0.453 AC
Buffer Area 3	0.675 AC
Buffer Area 4	0.143 AC
Total Buffer Open space	**1.688 AC**

Usable Open Space	
Usable Open Space 1 (US1)	0.525 AC
Usable Open Space 2 (US2)	0.673 AC
Usable Open Space 3 (US3)	0.501 AC
Usable Open Space 4 (US4)	0.401 AC
Usable Open Space 5 (US5)	0.101 AC
Usable Open Space Areas (Onsite)	**2.201 AC**
Useable Open Space Areas (Offsite)	**0.120 AC**
Usable Open Space (Without Amenities Credit)	**2.321 AC**

Amenity Location	Amenities	Credit	Amenity Credit (921 SF/Amenity)
Usable Open Space 1 (US1)	• Playground • Shelter • Grills & Table	3	.063 AC (2763 SF)
Usable Open Space 2 (US2)	• Small-sided soccer field with permanent goals	1	.021 AC (921 SF)
Usable Open Space 3 (US3)	• Bicycle Maintenence Station • Table & Small Playground • Trail connection to Broadacres Trail	2.25	.048 AC (2072.25 SF)
Usable Open Space 4 (US4)	• Trail connection to Broadview Trail	0.25	.005 AC (230.25 SF)
Usable Open Space 5 (US5)	• Council seating • Horseshoe pits	2	.042 AC (1842 SF)
Existing Recreation Center & Pool	• Rec Center • Pool	4	.084 AC (3,684 SF)
Total Amenities Credit Provided		**12.5**	**0.264 AC (11,512.5 SF)**

Usable Open Space Summary	
Required Usable Open Space (50% of Total Required Open Space)	**2.583 AC**
Subtotal of Usable Open Space (On-site)	2.201 AC
Subtotal of Usable Open Space (Off-site)	0.120 AC
Total Amenities Credit Provided	0.264 AC
Provided Usable Open Space (With Amenities Credit)	**2.585 AC**

- TOTAL OPEN SPACE IS THE SUM OF ON HOME SITE OPEN SPACE, BUFFER AREAS, AND USEABLE OPEN SPACE.
- BUFFER AREAS ARE INCLUDED WITHIN THE OPEN SPACE AREAS SHOWN.
- HOMESITE OPEN SPACE IS DEFINED AS THE OPEN SPACE AREA LOCATED ON INDIVIDUAL MANUFACTURED HOMESITES, I.E. LEASED SITES, FOR THE ENJOYMENT OF RESIDENTS.
- BOTH BUFFER AREAS AND USEABLE OPEN SPACE AREAS ARE GOVERNED BY CITY OF GREELEY BUFFER LANDSCAPING STANDARDS. SEE SHEET 13 FOR THE IDENTIFICATION OF SPECIFIC STANDARDS AND THEIR APPLICATION.
- FURTHER OPEN SPACE DETAILS MAY BE FOUND ON SHEET 13.
- SEE "USEABLE OPEN SPACE" DEFINITIONS AND DEVIATIONS ON SHEET 3.
- SEE "AMENITIES" DEFINITIONS AND DEVIATIONS ON SHEET 3.
- SEE BUFFER AREA DEFINITIONS AND DEVIATIONS ON SHEET 3 .
- AMENITY LOCATIONS ARE DETAILED ON SHEETS 13, 14 AND 15.

LAND USE:

A. PLANNING AREA ONE: LAND USE IN PLANNING AREA ONE (PA-1, AS DEPICTED ON THIS SHEET) SHALL CONSIST OF SINGLE-FAMILY MANUFACTURED HOMES, ACCESSORY STRUCTURES, AND RELATED APPURTENANCES. SEE SHEET 4 FOR DEVIATIONS FROM THE CITY OF GREELEY MUNICIPAL CODE AS DESCRIBED WITHIN THIS PUD.

B. USEABLE OPEN SPACE: ALLOWED USES WITHIN USEABLE OPEN SPACE INCLUDE COMMUNITY AMENITIES INCLUDING BUT NOT LIMITED TO, PARKS, SHELTERS AND SHADE STRUCTURES, BENCHES, GRILLS AND TABLES, SPORTS FACILITIES, EXERCISE EQUIPMENT, BIKE REPAIR FACILITIES, COMMUNITY GARDENS, LANDSCAPE, PLAY FIELDS, PLAY STRUCTURES, SIDEWALKS AND TRAILS, MONUMENTATION AND SIGNAGE, DRAINAGE AND DETENTION FACILITIES AND ANY RELATED APPURTENANCES ASSOCIATED WITH THESE USES.

NOTE:

1. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

MASTER PLAN

SHEET 2
2 OF 19

DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

DEVELOPMENT STANDARD DEVIATIONS:

THIS PUD WILL FOLLOW THE STANDARD ZONING REQUIREMENTS OF CITY OF GREELEY MUNICIPAL CODE, TITLE 18 DEVELOPMENT CODE, EXCEPT AS SHOWN IN THE DEVIATIONS AND DETAILS SHOWN BELOW.

CHAPTER 32, PLANNED UNIT DEVELOPMENT STANDARDS (PUD) .050 USES PERMITTED, DWELLING UNITS PER ACRE	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION D - GROSS DENSITY	THIS PUD SHALL NOT EXCEED AN AVERAGE GROSS DENSITY OF SEVEN, AND ONE-HALF (7.5) DWELLING UNITS PER ACRE. (SEE DETAILS ON SHEETS 7 & 8)

CHAPTER 38, ZONING DISTRICT DEVELOPMENT STANDARDS 050 R-MH RESIDENTIAL MOBILE HOME DISTRICT	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION C - STREET WIDTH	28' PAVEMENT, 42' ROADWAY CORRIDOR (SEE DETAILS ON SHEETS 4 & 5)
SECTION D - OPEN SPACE	25% OF THE DEVELOPMENT SHALL BE PRESERVED AS OPEN SPACE WITHIN THREE CATEGORIES: ON-HOMESITE OPEN SPACE (OPEN SPACE ON LEASED HOMESITES), USABLE OPEN SPACE (PARKS AND RECREATIONAL AREAS), AND PERIMETER BUFFERS. 100% OF LANDSCAPED DRAINAGE FACILITIES SHALL COUNT TOWARDS THE OVERALL OPEN SPACE REQUIREMENT (SEE SHEETS 2 & 13)
SECTION I - SETBACKS	NO MANUFACTURED HOME SHALL BE LOCATED CLOSER THAN FIFTEEN (15) FEET FROM PUD BOUNDARY. SIDE SETBACK: ZERO (0) FEET SIDE HOMESITE LINE SETBACK IS PERMITTED, HOWEVER, AT LEAST TWENTY (20) FEET BETWEEN MANUFACTURED HOMES IS REQUIRED. FRONT SETBACK: SEVEN AND ONE-HALF (7.5) FEET MINIMUM BETWEEN THE FRONT OF MANUFACTURED HOMES & BACK OF SIDEWALK, (SEE DETAIL SHEET 4) REAR SETBACK: TEN (10) FEET MINIMUM BETWEEN THE REAR OF MANUFACTURED HOME & REAR HOMESITE LINE.

CHAPTER 38, ZONING & LAND USE STANDARDS 020 USEABLE OPEN SPACE SQUARE FOOTAGE AMENITIES	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION I - AREA USAGE	USEABLE OPEN SPACE WITHIN THE COMMUNITY MUST BE UNOBSTRUCTED TO THE SKY WITH THE EXCEPTION OF SHELTERS AND SHADE STRUCTURES, AND SHALL BE A MINIMUM AREA OF FOUR THOUSAND (4,000) SQUARE FEET, EXCLUDING SETBACKS ADJACENT TO ROADWAY CORRIDOR. DESIGNATED COMMUNITY USABLE OPEN SPACE AREAS ARE REQUIRED TO CONTAIN AT LEAST ONE (1) RECREATIONAL AMENITY DESIGNED FOR THE BENEFIT OF THE COMMUNITY, (SEE SHEETS 14 AND 15 FOR DETAILS).

CHAPTER 46, DESIGN REVIEW PERFORMANCE STANDARDS .150	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION C, #3 - DECKS/PATIOS/CAR PORTS	EACH MANUFACTURED HOME MAY HAVE OUTDOOR SPACE INCLUDING PATIOS, DECKS, CARPORTS, PORCHES AND ASSOCIATED AWNINGS. PATIOS, DECKS, CARPORTS, PORCHES AND AWNINGS MUST MEET APPLICABLE CITY OF GREELEY BUILDING CODE(S). THESE ELEMENTS MAY BE CONSTRUCTED OF WOOD, COMPOSITE, OR CONCRETE AND SHALL NOT EXCEED OVER TWO-HUNDRED (200) SQUARE FEET IN SIZE. PATIOS AND DECKS MUST BE A MINIMUM OF SIX (6) FEET FROM NEIGHBORING HOME SITE STRUCTURES, TEN (10) FEET FROM THE REAR BOUNDARY OF THE HOME SITE, AND SEVEN AND ONE-HALF (7.5) FEET FROM BACK OF SIDEWALK. PATIOS, DECKS AND PORCHES SHALL BE USED FOR RECREATIONAL PURPOSES ONLY, SHALL NOT BE USED FOR STORAGE OR HUMAN HABITATION AND SHALL REMAIN AT LEAST SIXTY-FIVE PERCENT (65%) OPEN AND UNOBSTRUCTED ON THREE (3) SIDES. FENCES ARE NOT PERMITTED BETWEEN HOMESITES OR ALONG THE PERIMETER OF THE COMMUNITY. (REFER TO SHEET 4 FOR ADDITIONAL DETAILS)
SECTION C, #6 - PAVED DRIVEWAYS	EACH HOMESITE WILL PROVIDE TWO (2) DRIVEWAY PARKING SPACES WITH MINIMUM DIMENSIONS OF NINE (9) FEET WIDE AND TWENTY (20) FEET DEEP PROVIDED IN A TANDEM OR SIDE-BY-SIDE CONFIGURATION. ALL TANDEM DRIVEWAYS SHALL BE A MINIMUM OF FORTY (40) FEET IN LENGTH. NO DRIVEWAY SHALL EXCEED TWENTY-THREE (23) FEET IN WIDTH AT THE INTERSECTION WITH THE STREET, AND NO PARKING IS PERMITTED BETWEEN THE FRONT OF MANUFACTURED HOME AND THE STREET. DRIVEWAYS SHALL COUNT TOWARD REQUIRED PARKING FOR EACH HOMESITE. EACH PARKING SPACE SHALL BE DESIGNED SO THAT VEHICLES DO NOT OVERHANG THE ADJOINING COMMUNITY SIDEWALK. (SEE DETAIL ON SHEET 4)
SECTION C, #8 - USEABLE SPACE	NO LESS THAN TWENTY-FIVE PERCENT (25%) OF THE GROSS AREA OF THE MANUFACTURED HOME COMMUNITY SHALL BE RESERVED FOR AND DEVOTED TO OPEN SPACE WITHIN THREE CATEGORIES: ON-HOMESITE OPEN SPACE (OPEN SPACE ON LEASED HOMESITES), USABLE OPEN SPACE (PARKS AND RECREATIONAL AREAS), AND PERIMETER BUFFERS. OF THE REQUIRED OPEN SPACE AREA, FIFTY PERCENT (50%) SHALL BE USEABLE OPEN SPACE, AS DEFINED BY THIS PUD. ONE HUNDRED PERCENT (100%) OF LANDSCAPED DRAINAGE AND DETENTION FACILITIES SHALL COUNT TOWARD THE OVERALL OPEN SPACE REQUIREMENT (SEE SHEET 2)
SECTION C, #9E - COMMUNITY POCKET PARK/AMENITIES USEABLE SPACE	RECREATIONAL AMENITIES MAY INCLUDE SWIMMING POOLS; CLUBHOUSES, COMMUNITY CENTERS OR BUILDINGS; PLAYGROUNDS WITH PLAY EQUIPMENT; OUTDOOR EXERCISE STATIONS, BIKE REPAIR STATIONS; SHELTERS, GRILL & TABLE AREAS, BENCHES; SPORTS FACILITIES SUCH AS TENNIS, SMALL-SIDE SOCCER FIELDS, VOLLEYBALL OR BASKETBALL; HORSESHOE PITS; AND TRAIL SYSTEMS, NOT OTHERWISE REQUIRED AS A SUBSTITUTE FOR SIDEWALKS; SHALL BE PROVIDED BASED ON THE FOLLOWING SCHEDULE: A. PLAYGROUNDS WITH COMMERCIAL GRADE EQUIPMENT, COMMERCIAL GRADE PICNIC/BARBEQUE AREAS, OR SPORTS FACILITIES (OUTDOOR EXERCISE STATIONS, BIKE REPAIR STATIONS, SMALL-SIDE SOCCER FIELDS, TENNIS, VOLLEYBALL, OR BASKETBALL COURTS AND HORSESHOE PITS) AT LEAST ONE THOUSAND (1,000) SQUARE FEET IN SIZE SHALL EACH COUNT AS ONE (1) RECREATIONAL AMENITY. B. SYSTEM OF PEDESTRIAN TRAILS SHALL COUNT AS ONE-HALF (0.50) RECREATIONAL AMENITY. C. IN-THE-GROUND SWIMMING POOLS AT LEAST TWENTY (20) FEET BY FORTY (40) FEET AND COMMUNITY BUILDINGS AT LEAST TWO THOUSAND (2,000) SQUARE FEET IN SIZE SHALL COUNT AS TWO (2) RECREATIONAL AMENITIES. D. COMMUNITY SEATING AREAS OR COUNCIL RING SEATING AREAS ACCOMPANIED WITH A HORSESHOE PIT OR OTHER LAWN GAME IN COMMON AREAS SHALL COUNT AS TWO (2) RECREATIONAL AMENITIES. (SEE SHEET 13) EACH AMENITY SHALL REPRESENT A NINE HUNDRED AND TWENTY-ONE (921) SQUARE FOOT CREDIT TOWARDS THE COMMUNITIES REQUIRED USEABLE OPEN SPACE AREA.
SECTION D, #1 - STORAGE SPACE	THERE WILL BE NO OFF-HOMESITE STORAGE WITHIN COMMUNITY BUILDINGS OR CENTRAL STORAGE FACILITIES ALLOWED WITHIN THIS PUD.
SECTION D, #3F - GARAGES	NOT ALLOWED WITHIN THE COMMUNITY
SECTION D, #4 - ACCESSORY BUILDINGS & STRUCTURES	ACCESSORY BUILDINGS OR STRUCTURES MAY BE LOCATED WITHIN THE TWENTY (20) FOOT BUILDING SEPARATION AREA AS LONG AS THEY ARE NO CLOSER THAN SIX (6) FEET FROM ANY ADJACENT MANUFACTURED HOME. ACCESSORY BUILDINGS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE REAR OF THE HOMESITE AND NO CLOSER THAN FORTY SEVEN AND ONE-HALF (47.5) FEET FROM THE BACK OF SIDEWALK. ACCESSORY BUILDINGS OR STRUCTURES SHALL BE LIMITED TO A MAXIMUM SIZE OF 120 SQUARE FEET. SECONDARY EXIT STAIRS MAY BE LOCATED ON ADJOINING HOMESITES TO PROVIDE FOR EMERGENCY EGRESS. STAIRS MAY BE NO LARGER THAN FIVE (5) FEET BY FIVE (5) FEET IN SIZE. STAIRS LOCATED ON A ZERO SETBACK MAY EXTEND INTO THE ADJACENT HOME SITE AREA AND SHALL NOT BE USED AS THE PRIMARY ENTRANCE TO THE HOME. (SEE DETAIL ON SHEET 4.)

CHAPTER 44, BUFFER YARD & SCREEN STANDARDS 110	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
TABLE 018.44.110	IN THOSE AREAS WHERE USEABLE OPEN SPACE IS LOCATED WITHIN AREAS OTHERWISE GOVERND BY BUFFER YARD STANDARDS, BUFFER YARD STANDARDS SHALL APPLY. THE SOUTHERN AND NORTHERN PUD BOUNDARIES SHALL ADHERE TO BUFFER YARD A STANDARDS. EXISTING AND MATURE, HEALTHY TREES WITHIN THE AREA SHALL COUNT TOWARD THE DEFINED BUFFER YARD A STANDARDS. THE PORTION OF THE EASTERN PUD BOUNDARY ADJACENT TO NORTH 35TH AVENUE SHALL ADHERE TO ARTERIAL BUFFER STANDARDS. (SEE DETAIL SHEET 13)
TABLE 18.44-10, PLANTING REQUIREMENTS	THE NUMBER OF PLANTINGS REQUIRED ARE SHOWN ON SHEET 13. THE FUTURE LOCATION OF PLANTINGS MAY BE ADJUSTED AS NECESSARY.

CHAPTER 44, BUFFER YARD & SCREEN STANDARDS 130	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION I, PERIMETER TREATMENT	PERIMETER TREATMENT ALONG 35TH AVENUE WILL ADHERE TO THE LANDSCAPING STANDARDS DEFINED IN SECTION 18.44.130 (I), WITH THE EXCEPTION THAT LANDSCAPING ELEMENTS WILL BE LOCATED SO THAT THE FUTURE EXPANSION OF 35TH AVENUE DOES NOT NECESSITATE THE REMOVAL OF PLANTED MATERIALS. STREET TREES PLANTED AS PART OF THE FUTURE ROADWAY EXPANSION WILL BE THE RESPONSIBILITY OF THE CITY OF GREELEY.

DESIGN CRITERIA & CONSTRUCTION SPECIFICATIONS	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION 1.10.B, #2 - LOCAL RESIDENTIAL CURB TYPE	THE CURB AND GUTTER FOR ALL STREETS WITHIN THIS PUD SHALL BE MODIFIED DRIVE OVER CURB & GUTTER WITH A ONE (1) FOOT GUTTER AND ONE (1) FOOT ROLLED CURB, FIVE (5) INCHES IN HEIGHT FROM FLOWLINE TO BACK OF CURB WITH A FIVE (5) FOOT ATTACHED SIDEWALK (SEE DETAIL SHEET 5)
SECTION 1.03, TABLE 1.03.1 ROADWAY CORRIDOR & STREET CROSS SECTIONS, LOCAL RESIDENTIAL	ALL STREETS WITHIN THIS PUD SHALL BE PRIVATE WITH A FORTY-TWO (42) FOOT ROADWAY CORRIDOR AND SHALL INCLUDE A THIRTY (30) FOOT FLOWLINE TO FLOWLINE ROADWAY WIDTH WITH THIRTY (30) FEET WIDE INTERSECTIONS, WITH TWO (2) TRAVEL LANES. EACH TRAVEL LANE BEING NINE (9) FEET IN WIDTH. SIX (6) FOOT PARKING LANES SHALL BE PROVIDED ON EITHER SIDE. (SEE 2' DRIVE OVER CURB & GUTTER (MODIFIED) DETAIL ON SHEET 5)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

DAVID EVANS & ASSOCIATES, INC.
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PRELIMINARY PUD

DESIGN GUIDLINES - NOTES

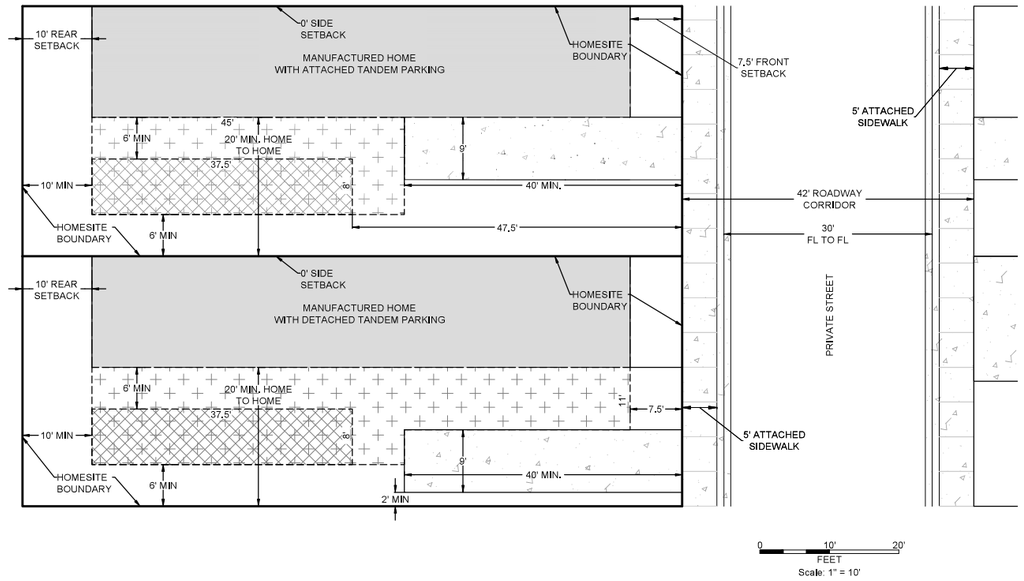
SHEET 3
3 OF 19
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

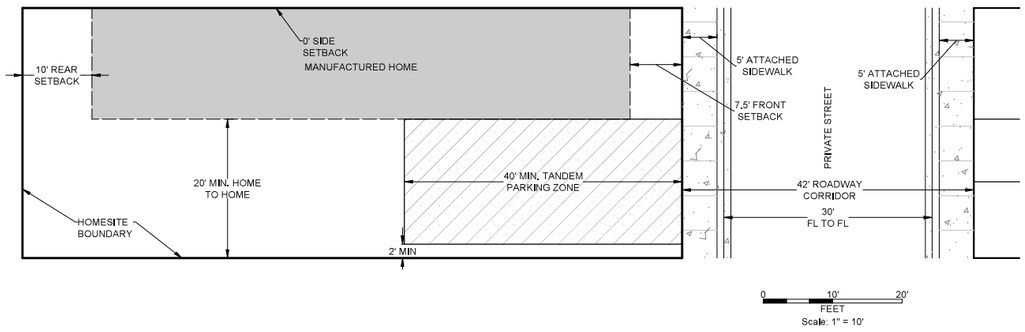
STORAGE & ACCESSORY STRUCTURE REQUIREMENTS (TANDEM PARKING)

SEE SHEET 3 FOR DETAILS



MANUFACTURED HOME SETBACK & PARKING REQUIREMENTS

SEE SHEET 3 FOR DETAILS



PARKING STANDARDS:

1. OFF-STREET PARKING - EACH HOMESITE WILL BE PROVIDED WITH TWO (2) CONCRETE OFF-STREET PARKING SPACES IN A TANDEM OR SIDE-BY SIDE CONFIGURATION. PARKING BETWEEN THE FRONT OF STRUCTURES AND THE ROADWAY CORRIDOR IS NOT PERMITTED. EACH PARKING SPACE SHALL BE A MINIMUM OF NINE (9) FEET WIDE BY TWENTY (20) FEET IN LENGTH AND MAY NOT INFRINGE WITHIN THE ROADWAY CORRIDOR OR BACK OF SIDEWALK, SEE "SITE STANDARDS" ON SHEET 3 FOR ADDITIONAL DETAILS.
2. GUEST PARKING- ON-STREET PARALLEL PARKING IS ACCOMMODATED WITHIN THE ROADWAY CORRIDOR AND SHALL PROVIDE A MINIMUM OF .75 GUEST PARKING SPACES FOR EACH HOMESITE. SEE "PRIVATE STREET DESIGN" ON SHEET 5, "PROPOSED "PRIVATE STREET" DESIGN" FOR ADDITIONAL DETAILS.
3. ADA PARKING- ONE (1) ADA ON-STREET PARKING SPACE WILL BE PROVIDED DIRECTLY ADJACENT TO THE COMMUNITY PARK, SEE SHEET 13 FOR LOCATION.
4. OFF-STREET PARKING SPACES SHALL BE LOCATED A MINIMUM OF TWO (2) FEET FROM HOMESITE BOUNDARY/LEASE AREA LINES. SEE SHEET 3 FOR DEVIATION TO "CHAPTER 46, DESIGN REVIEW PERFORMANCE STANDARDS ,150, SECTION C, #6 - PAVED DRIVEWAYS."
5. TWO CONCRETE PARKING SPACES SHALL BE PROVIDED FOR EACH HOMESITE. EACH INDIVIDUAL PARKING SPACE SHALL MEASURE NINE (9) FEET IN WIDTH BY TWENTY (20) FEET IN LENTH. A MINIMUM CONCRETE PARKING PAD AREA OF 360 SQUARE FEET SHALL BE PROVIDED WITHIN THE DESIGNATED PARKING AREA ON EACH HOMESITE. TANDEM PARKING CONFIGURATIONS ARE PERMITTED ON ALL HOMESITES. IN THE TANDEM PARKING CONFIGURATION, THE CONCRETE PARKING PAD DIMENSIONS FOR TWO TANDEM PARKING SPACES SHALL MEASURE NINE (9) FEET IN WIDTH BY FORTY (40) FEET IN LENGTH.
6. WHERE HOMESITE DIMENSIONS PERMIT AND WHERE TWO (2) FEET OF SEPARATION BETWEEN HOMESITE LINES & CONCRETE PARKING PADS CAN BE ACHIEVED, SIDE-BY-SIDE PARKING CONFIGURATIONS ARE PERMITTED. IN THE SIDE-BY-SIDE CONFIGURATION, THE CONCRETE PARKING PAD DIMENSIONS FOR TWO SIDE-BY-SIDE PARKING SPACES SHALL MEASURE EIGHTEEN (18) FEET IN WIDTH BY TWENTY (20) FEET IN LENGTH.

NOTES

1. MANUFACTURED HOME SHALL BE A MINIMUM OF FIFTEEN (15) FEET FROM PUD BOUNDARY
2. MANUFACTURED HOME SHALL BE A MINIMUM OF TWENTY-FIVE (25) FEET FROM CITY OF GREELEY PUBLIC RIGHT-OF-WAY.
3. ON A CORNER HOMESITE, A MINIMUM SIDE SETBACK OF 10 FEET IS REQUIRED BETWEEN THE MANUFACTURED HOME AND THE ROADWAY CORRIDOR.
4. FENCES ARE NOT PERMITTED BETWEEN HOMESITES.
5. SECONDARY EXIT STAIRS MAY BE LOCATED ON ADJACENT HOMESITES TO ALLOW FOR EMERGENCY EGRESS.
6. SEE SHEET 18 FOR ARCHITECTURAL DETAILS REGARDING PROPOSED MANUFACTURED HOMES.
7. SEE SHEET 3 FOR COMMUNITY SETBACK DEFINITIONS AND DEVIATIONS.
8. SEE SHEET 3 FOR ACCESSORY BUILDING DEFINITIONS AND DEVIATIONS.
9. SEE SHEET 3 FOR SECONDARY STAIR DEFINITIONS AND DEVIATIONS.
10. SEE SHEET 3 FOR DECKS, PATIOS AND STAIR DEFINITIONS AND DEVIATIONS.

LEGEND

- ALLOWABLE ACCESSORY BUILDING LOCATION (120 SF MAX)
- ALLOWABLE AREA FOR DECKS, PATIOS, & PRIMARY ENTRANCE STAIRS (200 SF MAX)
- BUILDING ENVELOPE
- CONCRETE PAVING
- ALLOWABLE PARKING AREA

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

DESIGN GUIDELINES - STANDARDS

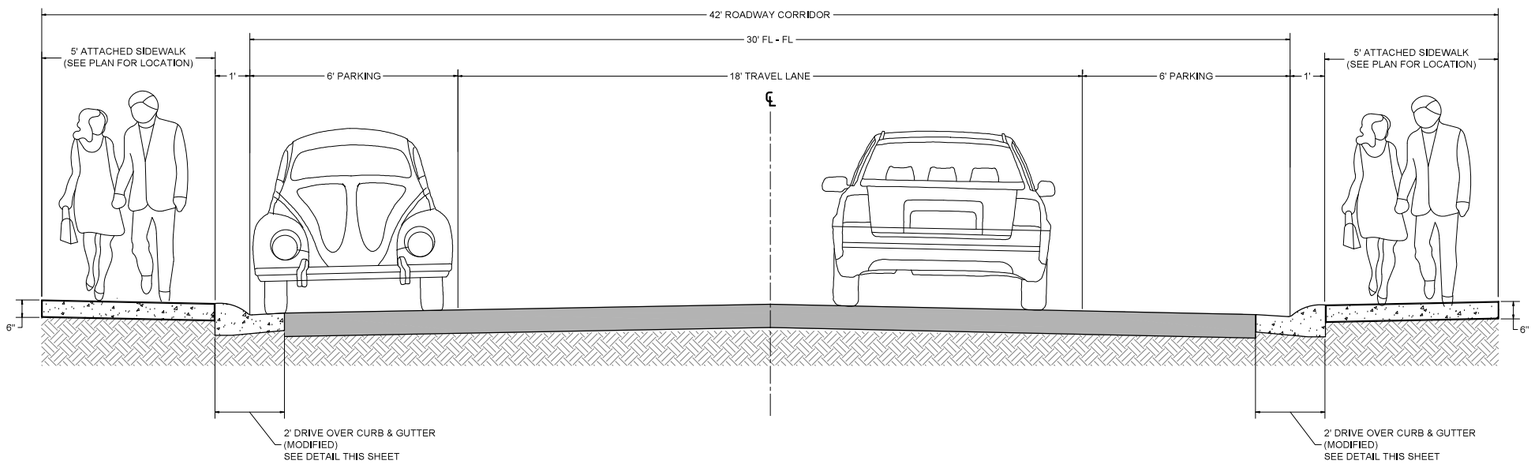
SHEET 4
4 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

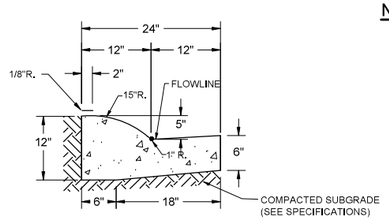
A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

PROPOSED "PRIVATE" STREET DESIGN:



PROPOSED "PRIVATE" STREET

0 2' 4'
FEET
Scale: 1" = 2'



2' DRIVE OVER CURB & GUTTER (MODIFIED)
(NTS)

NOTES

1. SIDEWALK SHALL BE A MINIMUM SIX (6) INCHES THICK AND FIVE (5) FEET WIDE.
2. MAXIMUM SPACING OF CONTRACTION JOINTS SHALL BE EIGHT (8) FEET.
3. EXPANSION JOINTS ARE REQUIRED BETWEEN BACK OF CURB AND SIDEWALK.
4. SIDEWALKS SHALL RECEIVE A LIGHT BROOM FINISH.

PRIVATE STREET STANDARDS:

1. ALL INTERNAL STREETS ARE DESIGNATED AS PRIVATE.
2. PRIVATE STREETS SHALL BE OWNED AND MAINTAINED BY THE OWNER OR HOMEOWNERS ASSOCIATION.
3. THE TOTAL WIDTH OF THE PRIVATE ROADWAY CORRIDOR IS FORTY-TWO (42') FEET (BACK-OF SIDEWALK TO BACK-OF-SIDEWALK).
4. ON-STREET PARKING MEASURING SIX (6) FEET IN WIDTH WILL BE PROVIDED ON BOTH SIDES OF THE STREET, PARALLEL TO THE CURB AND SHALL ACCOMMODATE GUEST PARKING FOR THE MANUFACTURED HOMES.
5. A FIVE (5) FOOT WIDE, ATTACHED PEDESTRIAN SIDEWALK WILL BE PROVIDED ON BOTH SIDES OF ALL PRIVATE STREETS.
6. AN EIGHTEEN (18) FEET BI-DIRECTIONAL TRAVEL WAY WILL BE PROVIDED ON ALL PRIVATE STREETS. THE TRAVEL WAY IS EXCLUSIVE OF THE SIX (6) FEET ON-STREET PARKING PROVIDED ON BOTH SIDES OF THE STREET.
7. TWO (2) FOOT WIDE MODIFIED DRIVE OVER CURB & GUTTER SHALL BE PROVIDED ON BOTH SIDES OF THE PRIVATE STREET. SEE "DRIVE OVER CURB & GUTTER (MODIFIED) DETAIL ON THIS SHEET.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
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PRELIMINARY PUD

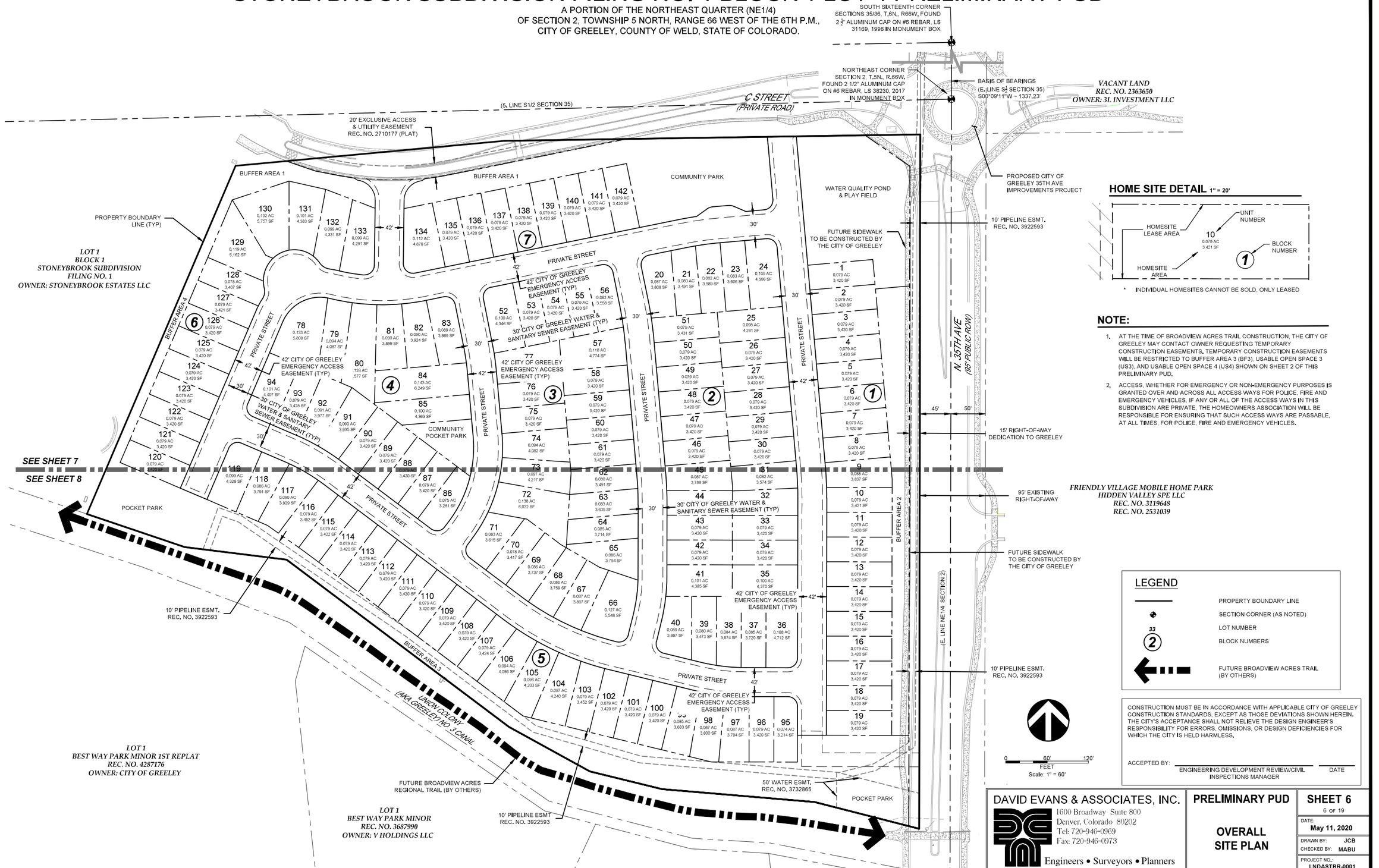
DESIGN GUIDLINES - ROADWAY DESIGN

SHEET 5
5 OF 19

DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



HOME SITE DETAIL 1" = 20'

* INDIVIDUAL HOMESITES CANNOT BE SOLD, ONLY LEASED

NOTE:

1. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD.
2. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

LEGEND

- PROPERTY BOUNDARY LINE
- SECTION CORNER (AS NOTED)
- 33 — LOT NUMBER
- (2) — BLOCK NUMBERS
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER _____ DATE

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PRELIMINARY PUD

OVERALL SITE PLAN

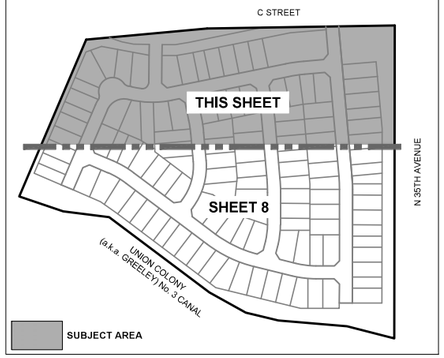
SHEET 6
6 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

KEYMAP
NTS



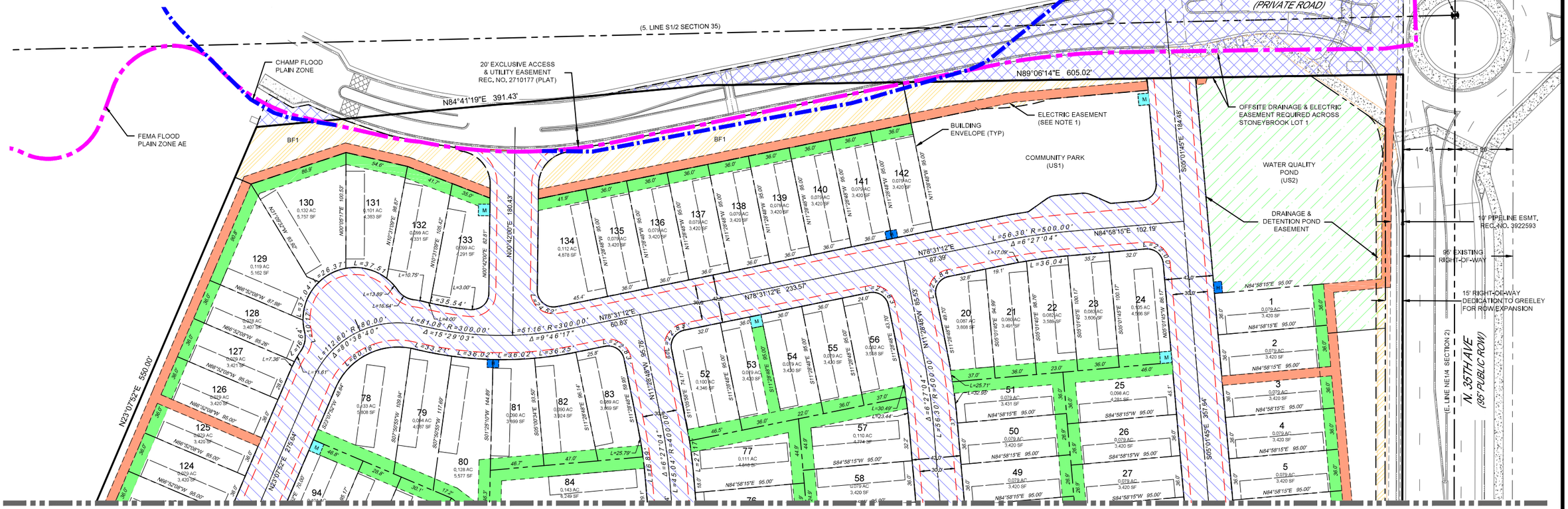
EASEMENT LEGEND

- BOUNDARY LINE
- FEMAFLOOD PLAIN ZONE AE
- PROPOSED CHAMP REVISED ZONE AE
- SECTION CORNER (AS NOTED)
- EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
- PROPOSED 42' CITY OF GREELEY EMERGENCY ACCESS EASEMENT
- PROPOSED CITY OF GREELEY WATER AND SANITARY SEWER EASEMENT
- PROPOSED 8' ELECTRIC EASEMENT
- M — PROPOSED CITY OF GREELEY WATER METER EASEMENT
- H — PROPOSED CITY OF GREELEY WATER FIRE HYDRANT EASEMENT
- UTILITY CORRIDOR
- PROPOSED CITY OF GREELEY DETENTION POND EASEMENT
- ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED WITH FINAL PUD FROM OWNER
- PROPOSED PEDESTRIAN ACCESS EASEMENT

NOTES

1. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY. FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
2. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

0 40' 80'
FEET
Scale: 1" = 40'



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

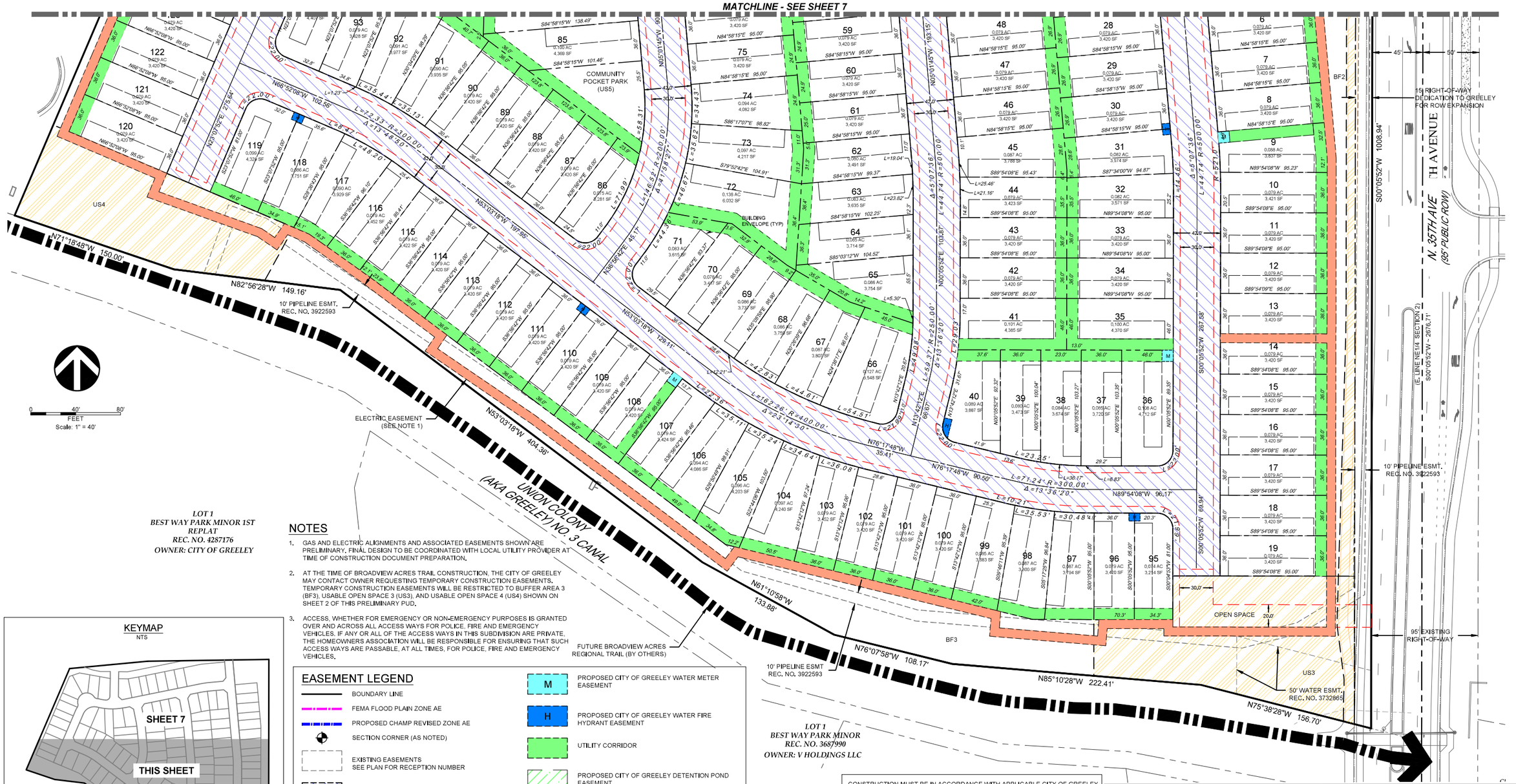
PRELIMINARY SITE PLAN 01

SHEET 7
7 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



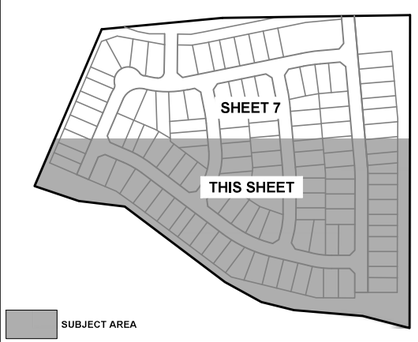
LOT 1
BEST WAY PARK MINOR 1ST REPLAT
REC. NO. 4287176
OWNER: CITY OF GREELEY

LOT 1
BEST WAY PARK MINOR
REC. NO. 3687990
OWNER: V HOLDINGS LLC

NOTES

1. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY. FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
2. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD.
3. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

KEYMAP
NTS



EASEMENT LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN ZONE AE
- PROPOSED CHAMP REVISED ZONE AE
- SECTION CORNER (AS NOTED)
- EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
- PROPOSED 42' CITY OF GREELEY EMERGENCY ACCESS EASEMENT
- PROPOSED CITY OF GREELEY WATER AND SANITARY SEWER EASEMENT
- PROPOSED 8' ELECTRIC EASEMENT
- M — PROPOSED CITY OF GREELEY WATER METER EASEMENT
- H — PROPOSED CITY OF GREELEY WATER FIRE HYDRANT EASEMENT
- UTILITY CORRIDOR
- PROPOSED CITY OF GREELEY DETENTION POND EASEMENT
- ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED WITH FINAL PUD FROM OWNER
- PROPOSED PEDESTRIAN ACCESS EASEMENT

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

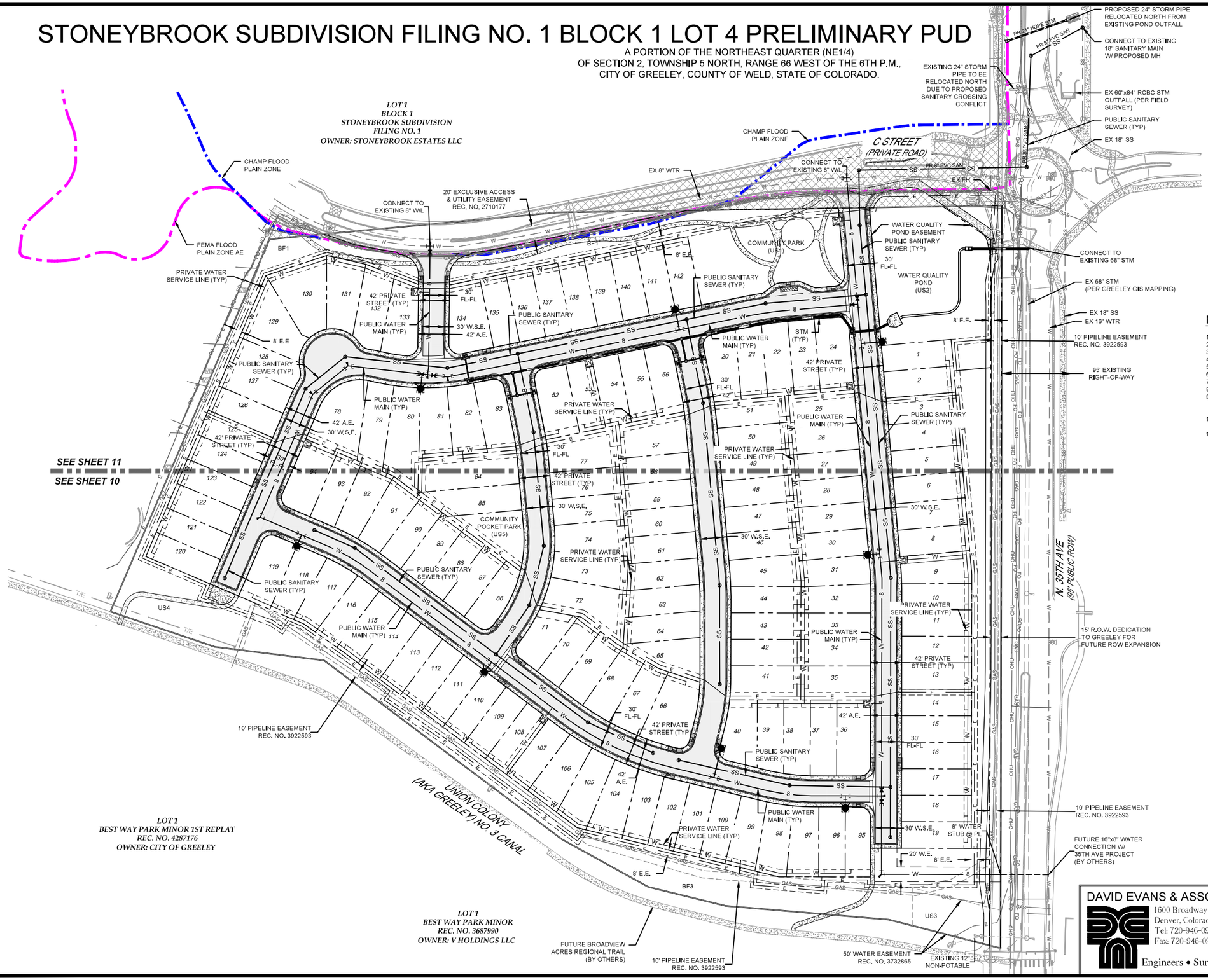
PRELIMINARY SITE PLAN 02

SHEET 8
8 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

NOTES

1. A.E. = PROPOSED CITY OF GREELEY EMERGENCY ACCESS EASEMENT.
2. W.S.E. = PROPOSED CITY OF GREELEY WATER AND SANITARY EASEMENT.
3. E.E. = PROPOSED ELECTRICAL EASEMENT.
4. W.E. = PROPOSED CITY OF GREELEY WATER EASEMENT.
5. PROPOSED WATER MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
6. FIRE HYDRANT ASSEMBLIES ARE 6" DIP UNLESS OTHERWISE NOTED.
7. ALL PROPOSED SANITARY MAINS ARE MINIMUM 8" SDR 35.
8. SANITARY SERVICE LATERALS WILL BE PROVIDED TO INDIVIDUAL HOME SITES.
9. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY, FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
10. TRACER WIRE SHALL BE INSTALLED ON ALL UNDERGROUND FACILITIES IN ACCORDANCE WITH COLORADO REVISED STATE STATUTES.
11. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

0 60' 120'
FEET
60'

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

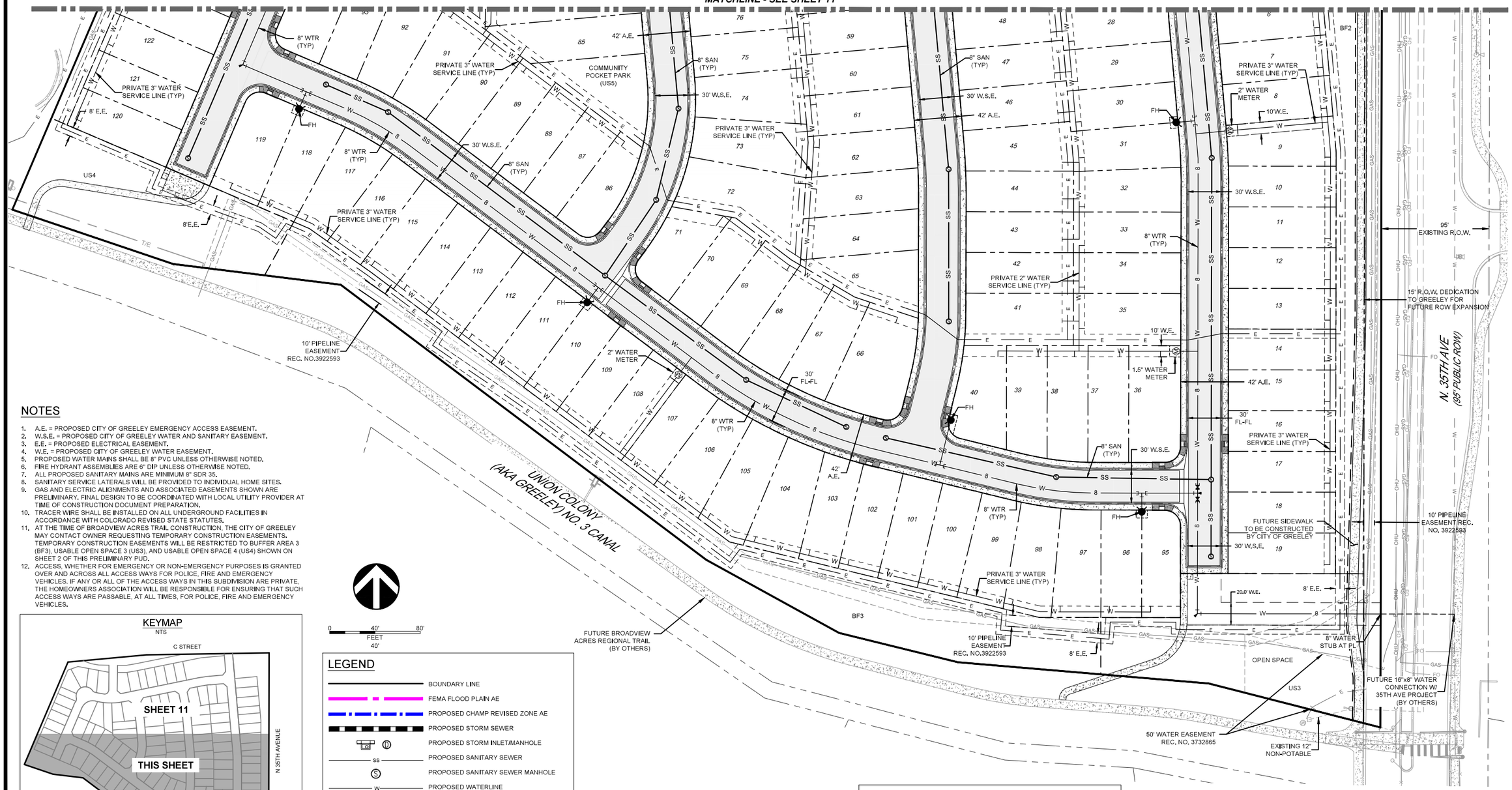
PRELIMINARY OVERALL UTILITY PLAN

SHEET 9
9 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



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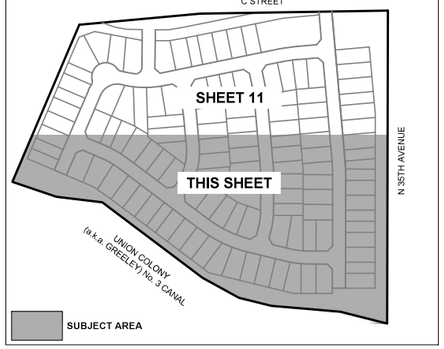
12. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

KEYMAP
NTS



0 40' 80'
FEET
40'

LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

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PRELIMINARY PUD

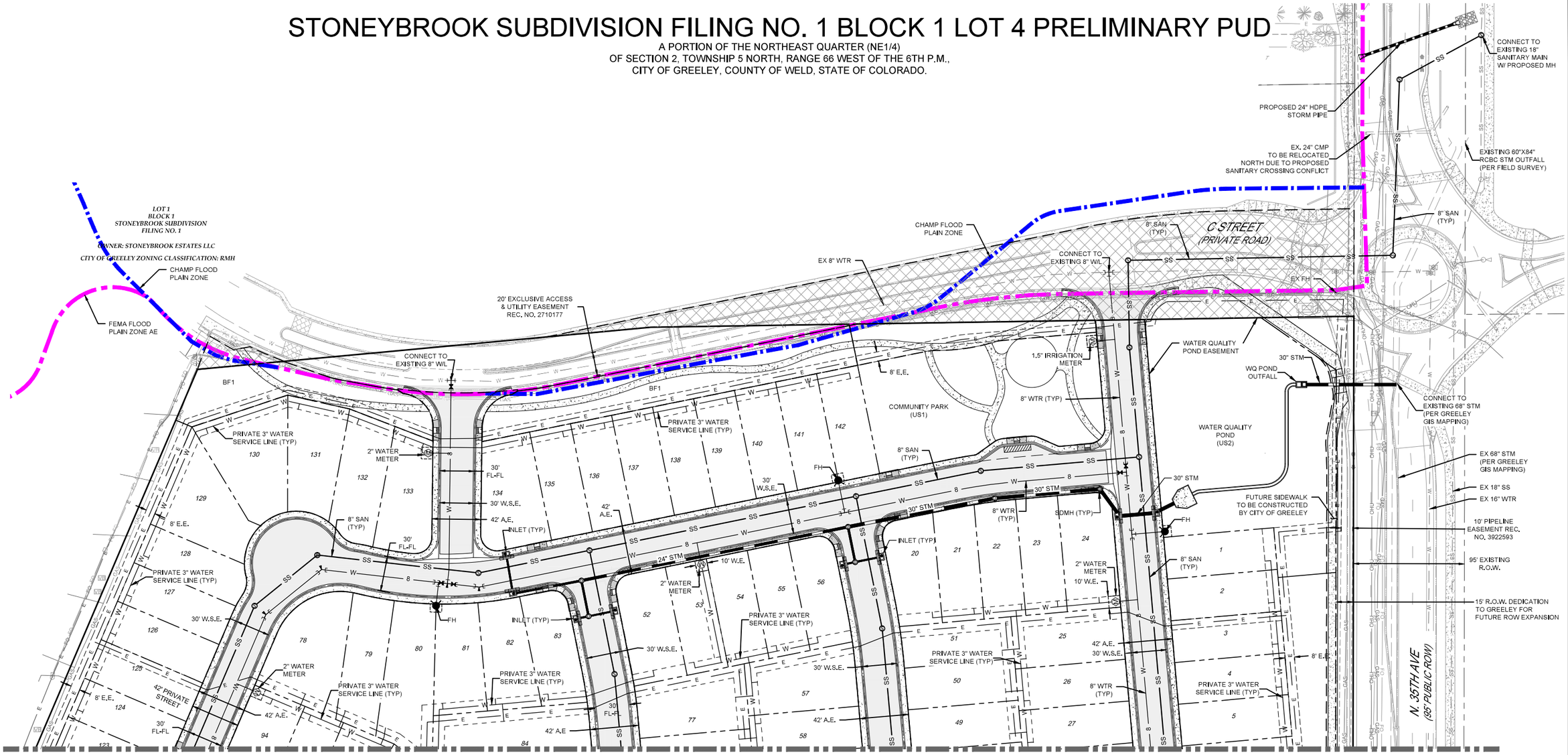
PRELIMINARY UTILITY PLAN 01

SHEET 10
10 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

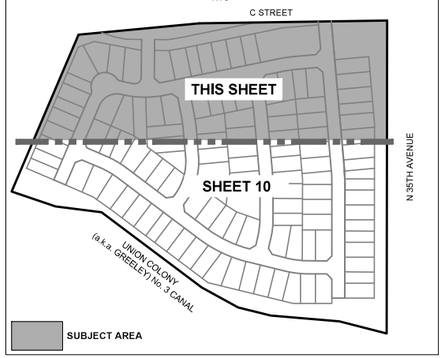
STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



MATCHLINE - SEE SHEET 10

KEYMAP
NTS



LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- SS — PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- W — PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- E — E — PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

NOTES

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0 40' 80'
FEET
40'

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ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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Fax: 720-946-0973
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PRELIMINARY PUD

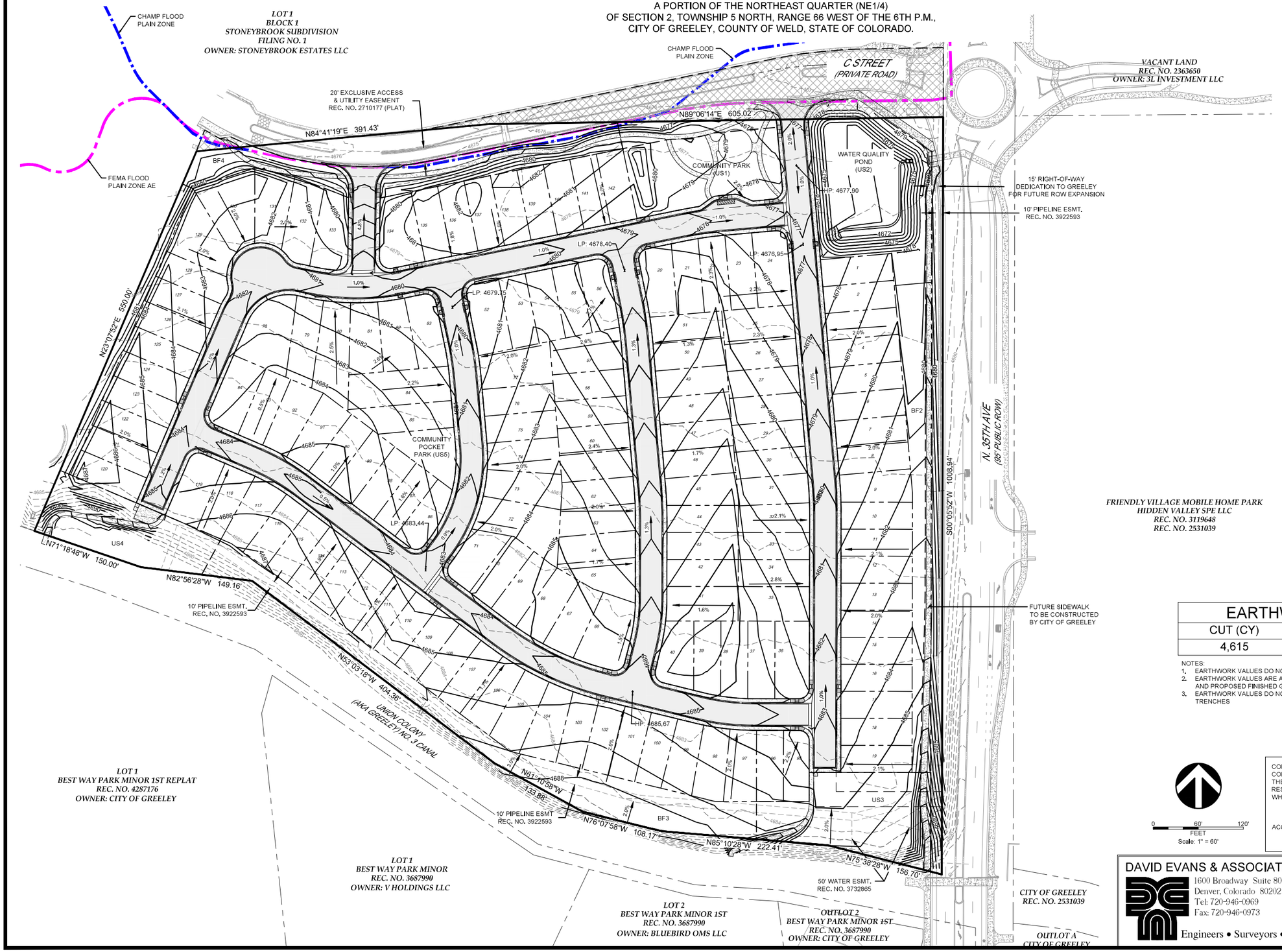
PRELIMINARY UTILITY PLAN 02

SHEET 11
11 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



NOTE

1. STONEYBROOK LOT 4 AS SHOWN HEREIN IS A LAND LEASE COMMUNITY. EACH HOME SITE REPRESENTS A FUTURE AND SEPARATE LAND LEASE AREA.

GRADING LEGEND

———	BOUNDARY LINE
- - - 46XX - - -	EXISTING MAJOR CONTOUR (1-FT)
- - - 46XX - - -	EXISTING MINOR CONTOUR (1-FT)
——— 46XX ———	PROPOSED MAJOR CONTOUR (1-FT)
——— 46XX ———	PROPOSED MINOR CONTOUR (1-FT)
	FEMA FLOODPLAIN AE
	PROPOSED CHAMP REVISED AE
LP: 46XX.XX'	LOW POINT ELEVATION
HP: 46XX.XX'	HIGH POINT ELEVATION
XX.X%	SLOPE

EARTHWORK SUMMARY TABLE

CUT (CY)	FILL (CY)	NET (CY)
4,615	51,868	47,253 (FILL)

NOTES:
1. EARTHWORK VALUES DO NOT INCLUDE SHRINK/SWELL FACTORS.
2. EARTHWORK VALUES ARE A DIRECT COMPARISON BETWEEN THE EXISTING GROUND SURFACE AND PROPOSED FINISHED GRADE SURFACE.
3. EARTHWORK VALUES DO NOT ACCOUNT FOR FOUNDATIONS, PAVEMENT SECTIONS OR UTILITY TRENCHES

0 60' 120'
FEET
Scale: 1" = 60'

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Denver, Colorado 80202
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Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

PRELIMINARY DRAINAGE & GRADING PLAN

SHEET 12
12 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO. LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1
BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

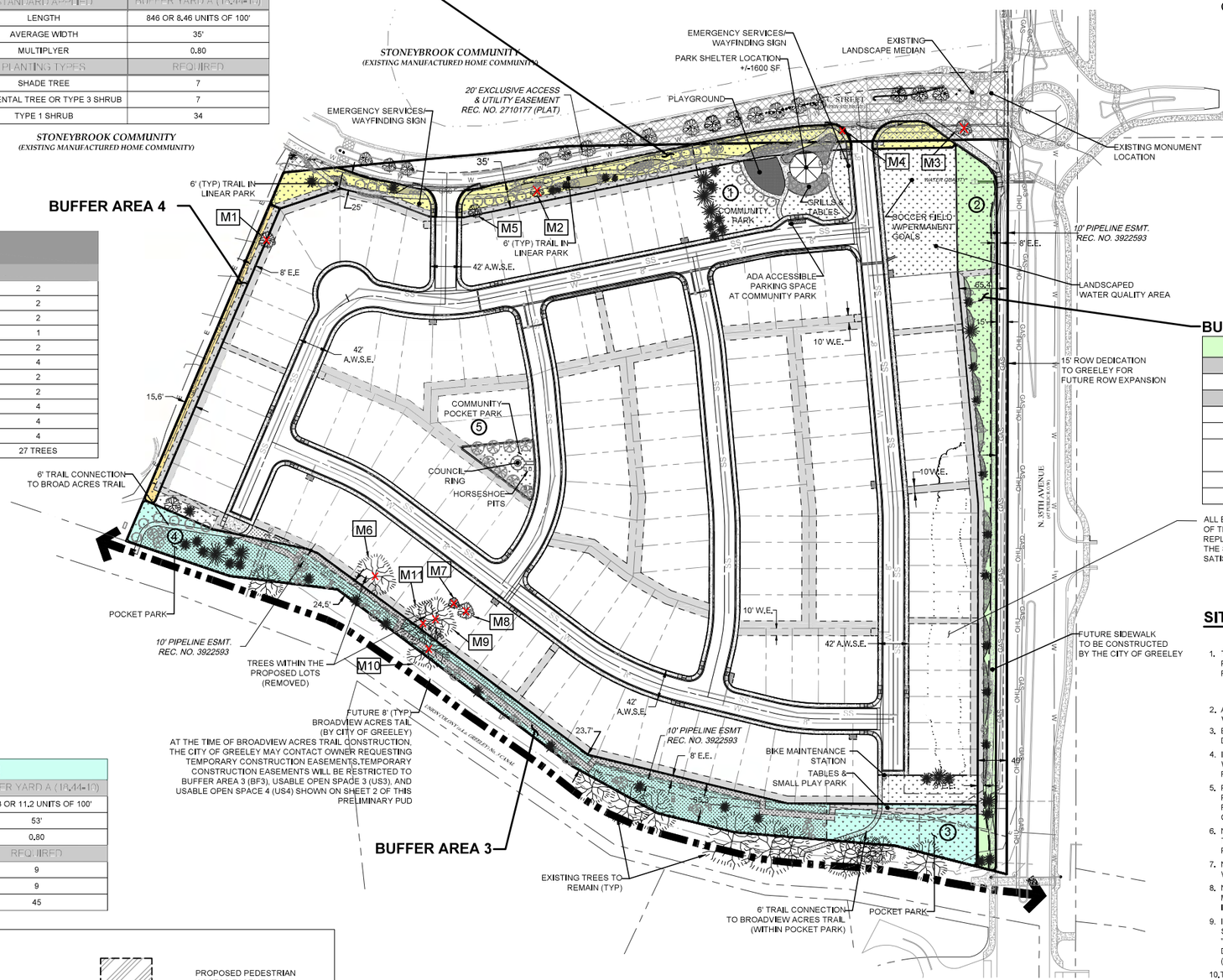
0 80' 160'
FEET
Scale: 1" = 80'

BUFFER AREA 1

BUFFER AREA 1	
STANDARD APPLIED	BUFFER YARD A (18.44-10)
LENGTH	846 OR 8,46 UNITS OF 100'
AVERAGE WIDTH	35'
MULTIPLYER	0.80
PLANTING TYPES	REQUIRED
SHADE TREE	7
ORNAMENTAL TREE OR TYPE 3 SHRUB	7
TYPE 1 SHRUB	34

BUFFER AREA 4

M1	12"	2
M2	10"	2
M3	12"	2
M4	6"	1
M5	10"	2
M6	60"	4
M7	8"	2
M8	10"	2
M9	48"	4
M10	36"	4
M11	48"	4
TOTAL		27 TREES



COMMUNITY AMENITY LOCATIONS	
LOCATION	AMENITY
1	- PLAYGROUND & GRASS PLAY AREA - SHELTER - GRILLS & TABLES
2	- SMALL SOCCER FIELD WITH SLEEVE MOUNTED GOALS
3	- BIKE MAINTENANCE STATION - TABLES & SMALL CHILD PLAY PARK
4	- TRAIL CONNECTION TO BROADVIEW ACRES TRAIL
5	- COUNCIL RING FEATURE / SEATING - HORSESHOE PITS

* SEE SHEET 14 COMMUNITY AMENITY DETAILS FOR ACTIVE OPENSPACE AREAS.
* EACH AMENITY, EXCLUDING TRAIL CONNECTIONS SHALL REPRESENT NINE HUNDRED AND TWENTY-ONE (921) SQUARE FOOT CREDIT TOWARDS THE COMMUNITIES REQUIRED USEABLE OPEN SPACE AREA
* THE TWO CONNECTIONS TO THE BROADVIEW ACRES TRAIL SHALL REPRESENT A COMBINED FOUR HUNDRED, SIXTY AND ONE-HALF (460,5) SQUARE FOOT CREDIT

BUFFER AREA 2

BUFFER AREA 2	
STANDARD APPLIED	ARTERIAL BUFFER YARD A (18.44-5)
LENGTH	980 OR 9,8 UNITS OF 100'
PLANTING TYPES	REQUIRED
SHADE OR ORNAMENTAL TREE	10
EVERGREEN TREE	10
LARGE AND MEDIUM SHRUBS	20 (LARGE)
	40 (MEDIUM)
OR	
SMALL SHRUBS	117

ALL EXISTING TREES LOCATED ADJACENT TO 35TH AVENUE WILL BE REMOVED. THE CITY OF GREELEY HAS RELOCATED A NUMBER OF THESE TREES TO OFF-SITE LOCATIONS. A TOTAL 20 TREES WERE RELOCATED. AS SUCH IT IS IMPRACTICAL TO DETERMINE REPLACEMENT VALUES AT THE TIME OF PRELIMINARY PUD. HOWEVER, THE TOTAL NUMBER OF FUTURE TREES TO BE PLANTED IN THE STONEYBROOK COMMUNITY (BOTH ON HOME SITES AND IN OPEN SPACE AREAS) WILL SURPASS 200 TREES WHICH MORE THAN SATISFIES THE POTENTIAL REPLACEMENT VALUE OF THE TREES REMOVED.

BUFFER AREA 3

BUFFER AREA 3	
STANDARD APPLIED	BUFFER YARD A (18.44-10)
LENGTH	1,123 OR 11,2 UNITS OF 100'
AVERAGE WIDTH	53'
MULTIPLYER	0,80
PLANTING TYPES	REQUIRED
SHADE TREE	9
ORNAMENTAL TREE OR TYPE 3 SHRUB	9
TYPE 1 SHRUB	45

SITE NOTES

1. THE COMMUNITY IS REQUIRED TO HAVE A MINIMUM OF TWO (2) NEIGHBORHOOD IDENTITY FEATURES BASED ON THE PROPOSED TOTAL NUMBER OF DWELLING UNITS (51 TO 150 DWELLING UNITS= 2 FEATURES). THIS PLAN PROPOSES THE FOLLOWING 2 FEATURES TO COUNT TOWARDS THIS REQUIREMENT.
   A. COMMUNITY PARK - (1) FEATURE
   B. PLAYGROUND IN COMMUNITY PARK - (1) FEATURE
2. ADDITIONAL COMMUNITY WAYFINDING FEATURES INCLUDE INSTALLATION OF TWO (2) SIGNS (ONE AT EACH ENTRANCE) FOR VISITOR & EMERGENCY WAYFINDING PURPOSES. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
3. EACH HOMESITE WILL DEPICT A SIGN POSTED ON THE FRONT OF EACH STRUCTURE FOR IDENTIFICATION. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
4. IDENTITY FEATURES (COMMUNITY PARK, WAYFINDING SIGNS, HOMESITE SIGNS, AND PLAYGROUNDS) WHETHER PROPOSED WITH THIS PRELIMINARY PLAN ARE TO COUNT TOWARDS THE TOTAL FEATURES REQUIRED FOR ENTIRE P.U.D. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
5. PER THE DEVELOPMENT CODE ALL HEALTHY TREE'S (EXCLUDING SIBERIAN ELM LOCATED ALONG 35TH STREET) ARE TO BE PRESERVED, UNLESS OTHERWISE NOT PRACTICAL. IN THE EVENT A HEALTHY TREE HAS TO BE REMOVED IT WILL BE REPLACED BASED ON THE CALIPER OF THE TREE REMOVED. SEE THIS SHEET AND TABLE 18.44-6 IN GREELEY'S DEVELOPMENT CODE FOR REPLACEMENT VALUES.
6. NOTE: THE LOCATION OF NEW VEGETATION SHOWN ON SHEET 13 IS CONCEPTUAL ONLY. REQUIRED BUFFER AND PERIMETER TREATMENTS WILL BE PROVIDED PER THE TABLES SHOWN ON THIS SHEET. FLEXIBILITY ON PLANTING LOCATIONS ALONG PROPERTY BOUNDARIES WILL BE ALLOWED TO ACCOMMODATE FINAL DESIGN.
7. NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE (3) FEET IN HEIGHT SHALL BE PLANTED WITHIN POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION EASEMENTS.
8. NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN TEN (10) FEET OF POTABLE AND NON-POTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION MAINS AND SERVICES.
9. IN THOSE AREAS WHERE USEABLE OPEN SPACE IS LOCATED WITHIN AREAS OTHERWISE GOVERNED BY BUFFER YARD STANDARDS, BUFFER YARD STANDARDS SHALL APPLY. BUFFER AREA 1 & BUFFER AREA 3 BOUNDARIES SHALL ADHERE TO "BUFFER YARD A STANDARDS" WITH EXISTING AND MATURE, HEALTHY TREES WITHIN THE AREA COUNTING TOWARDS THE DEFINED "BUFFER YARD A STANDARDS". THE PORTION OF THE EASTERN PUD BOUNDARY ADJACENT TO NORTH 35TH AVENUE (BUFFER AREA 2) SHALL ADHERE TO "ARTERIAL BUFFER STANDARDS."
10. THE LOCATION OF PLANTINGS SHOWN ARE CONCEPTUAL AND MAYBE ADJUSTED AS NECESSARY DURING FINAL PUD DEVELOPMENT

EASEMENT LEGEND

- HOMESITE LINES
- 6" CONCRETE EDGER
- EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
- PROPOSED 30' CITY OF GREELEY ACCESS, WATER AND SANITARY EASEMENT
- PROPOSED UTILITY EASEMENTS (SEE UTILITY SHEETS FOR MORE DETAILED INFORMATION)
- ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED FROM C STREET OWNER
- PROPOSED PEDESTRIAN ACCESS EASEMENT
- PROPOSED STORM SEWER
- SS — PROPOSED SANITARY SEWER
- W — PROPOSED WATER LINE
- E — E — PROPOSED ELECTRIC
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)
- M# — EXISTING TREE TO BE REMOVED.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ COMMUNITY DEVELOPMENT DIRECTOR _____ DATE

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER _____ DATE

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Denver, Colorado 80202
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Fax: 720-946-0973
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PRELIMINARY PUD

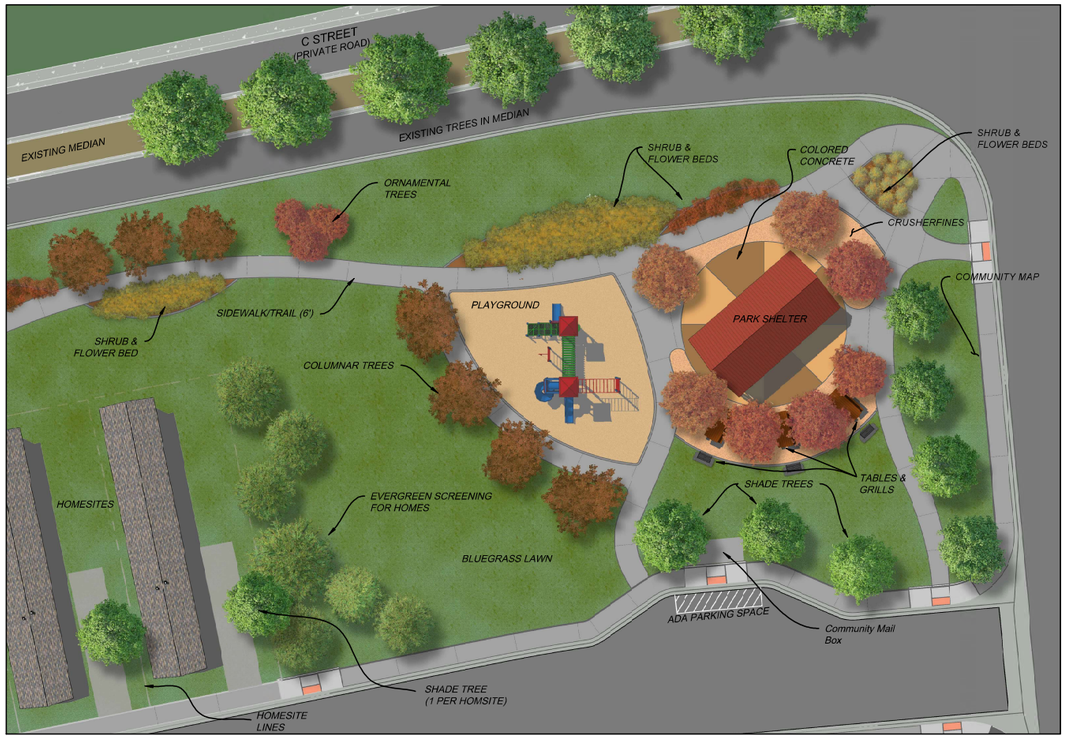
PRELIMINARY LANDSCAPE PLAN

SHEET 13
13 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1
BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



COMMUNITY PARK
NTS

PARK SHELTER W/GRILLS

PICNIC TABLES

PLAYGROUND

ALL IMAGES & RENDERINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING FINAL PUD

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

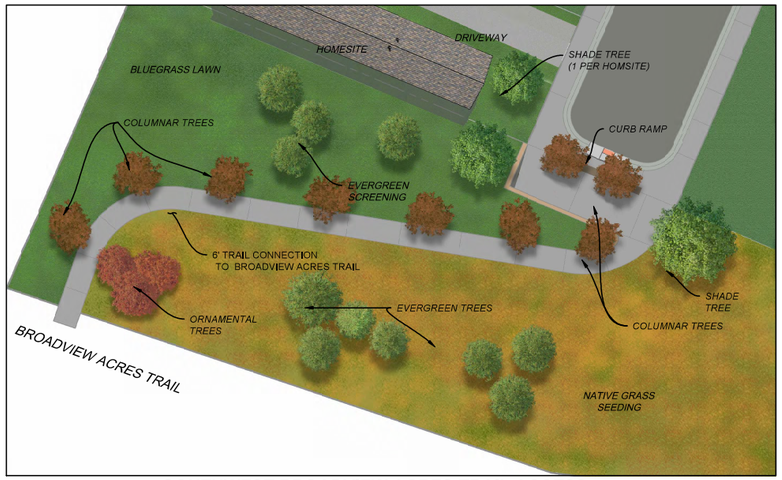
PRELIMINARY LANDSCAPE AMENITY DETAILS 01

SHEET14
14 OF 19

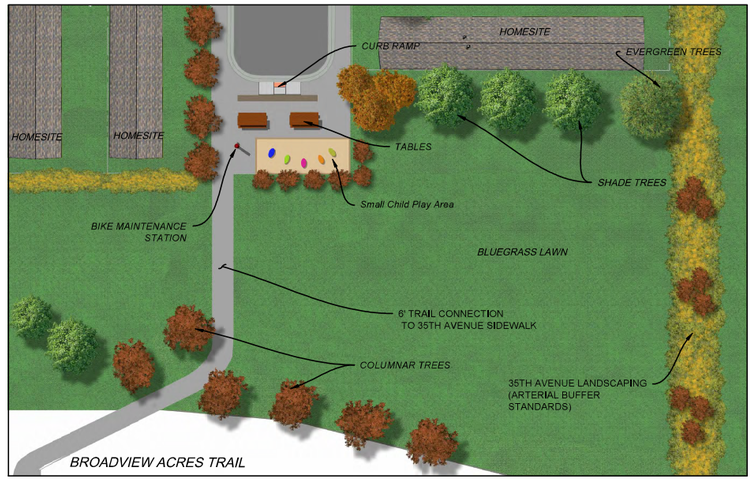
DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1
BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



SOUTHWEST BROADVIEW ACRES TRAIL ACCESS
NTS



SOUTHEAST BROADVIEW ACRES TRAIL ACCESS
NTS

PARK BENCH

BIKE REPAIR STATION

COMMUNITY POCKET PARK
NTS

COUNCIL RING

ALL IMAGES & RENDERINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING FINAL PUD

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

PRELIMINARY LANDSCAPE AMENITY DETAILS 02

SHEET15
15 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

LANDSCAPE NOTES

1. ALL BUFFER AREAS ALONG C STREET AND NORTH 35TH AVENUE TO BE SOD UNLESS OTHERWISE SPECIFIED.
2. ALL HOMESITE TREES AND LANDSCAPING TO BE INSTALLED BY THE BUILDER NO LATER THAN ONE (1) YEAR AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR EACH HOME.
3. TREES SHALL NOT BE PLANTED WITHIN 10' OF WATER, SEWER, OR STORM SEWER MAINS. TREE LOCATIONS (BUT NOT QUANTITIES) MAY BE ADJUSTED IF REQUIRED TO RESOLVE UTILITY SERVICE OR STREET LIGHTING CONFLICTS.
4. NATIVE SEED AREAS TO BE SEEDED WITH MIXES SHOWN BELOW.
5. WHERE BARE GRADED CONDITIONS CREATE DRAINAGE SWALES, THE AREA IS TO BE SEEDED PER THE PLAN AND OVER-SEEDED WITH A LIGHTER RATE OF THE MOIST SWALE SEED MIX.
6. ALL TREE AND SHRUB SPECIES SHALL BE SELECTED ACCORDING TO THE CITY OF GREELEY DEVELOPMENT CODE APPENDIX 18-D -TREE, SHRUB, AND GROUND COVER LIST.
7. ALL LANDSCAPING IN PRIVATE TRACTS TO BE MAINTAINED BY THE HOA. ALL TREE LAWNS IN RIGHT-OF-WAY TO BE MAINTAINED BY HOA. LANDSCAPING AND OTHER IMPROVEMENTS WITHIN PUBLIC REGIONAL TRAIL EASEMENTS AND MULTI-MODAL TRAIL EASEMENTS TO BE MAINTAINED BY CITY OF GREELEY.
8. ALL TRAILS IN OPEN SPACE SHALL BE A MINIMUM OF SIX FEET IN WIDTH.
9. FENCES ARE NOT PERMITTED BETWEEN HOMESITES OR ALONG THE PERIMETER OF THE COMMUNITY.
10. "BUFFER YARD A" STANDARDS WILL BE MET IN BUFFER AREA 1 AND BUFFER AREA 3.
11. ARTERIAL PERIMETER TREATMENT STANDARDS WILL BE MET ALONG THE 35TH AVENUE FRONTAGE. SEE SHEET 3 FOR DEFINITIONS & DEVIATIONS.
12. LOCATION OF NEW VEGETATION/PLANTINGS IS CONCEPTUAL ONLY. FLEXIBILITY ON PLANTING LOCATIONS WILL BE ALLOWED TO ACCOMMODATE FINAL DESIGN.

SEEDING

ALL PREPARED AREAS, NEED TO BE FIRM, BUT NOT COMPACTED, PRIOR TO SEED APPLICATIION.

BLUEGRASS AREAS:

A. SOW BLUEGREASSS MIX AT RATE OF 5 LBS. PER 1,000 SQUARE FEET.
B. SOW TURF GRASS USING MECHANICAL TYPE 3 DRILL, (BRILLION) SEEDING MACHINE FOR SLOPES 4:1 AND FLATTER.
   B.1 DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES OF EACH OTHER
   B.2 FOR AREAS INACCESSIBLE TO SEEDING MACHINES USE BROADCAST METHOD. SEE BLUEGRASS SPECIES TABLE BELOW.

BLUEGRASS SPECIES/VARIETY	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
KENTUCKY BLUEGRASS, MOONLIGHT	65.1
KENTUCKY BLUEGRASS, NORTHSTAR	65.1
KENTUCKY BLUEGRASS, QUANTUM	65.1
PERENNIAL RYEGRASS	21.7

NATIVE AREAS:

A. SEED THE LISTED VARIETIES IN THE AREAS DESIGNATED ON THE DRAWINGS.
B. ALL SEED IS TO BE DRILLED 0,25 INCH TO 0,50 INCH INTO THE SOIL AT THE SPECIFIED LBS/ACRE RATE LISTED IN THE SEED MIX TABLES BELOW, WITH A MECHANICAL, POWER DRAWN DRILL SEEDER. ROWS SHALL BE SPACED NOT MORE THAN EIGHT INCHES (8") APART.
C. THE CONTRACTOR SHALL DRILL EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES OF EACH OTHER.
D. SEEDING RATES NEED TO BE INCREASED 50% ON SLOPES 6:1 OR STEEPER.
E. SEEDING RATES NEED TO BE INCREASED 100% FOR AREAS THAT ARE SEEDED BY HAND BROADCASTING.

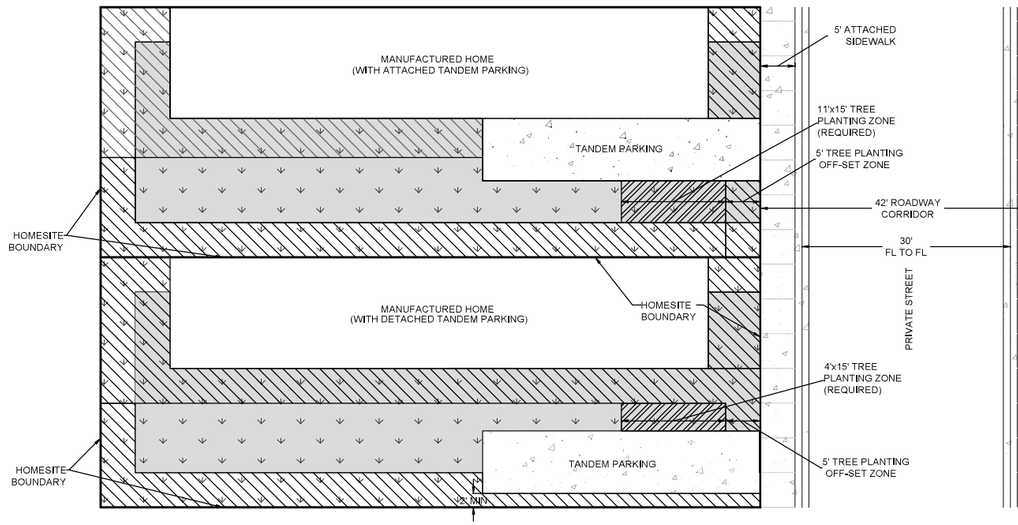
LOW GROW MIX USE A MINIMUM 8 FEET WIDE ON SIDES OF PATHWAYS. USE AT PROPERTY LINES ABUTTING RESIDENTIAL PROPERTIES. USE IN OPEN SPACE WHERE SHORT GRASSES ARE DESIRED.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
BUFFALO GRASS	8,0
BLUE GRAMMA	6,5

SLOPE MIX USED ON ALL SLOPES AND BERMS.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
SIDE OATS GRAMMA	4,0
BLUE GRAMMA	4,0
LITTLE BLUESTEM	4,0
SAND DROPSEED	0,12
STREAM BANK GRASS	8,0

POND MIX USED IN AND AROUND DETENTION/RETENTION PONDS, AND IN AREAS THAT ARE DESIGNED TO HOLD WATER, BUT ARE NOT NECESSARILY WET THE MAJORITY OF THE TIME.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
LITTLE BLUESTEM	2,0
YELLOW INDIAN GRASS	2,0
SWITCHGRASS	1,0
BLUE GRAMMA	0,6
SIDE OATS GRAMMA	3,0
PRAIRIE SANDREED	1,5
WESTERN WHEATGRASS	4,0
STREAM BANK GRASS	5,0

COMPANION CROP ADD THE APPROPRIATE COMPANION CROP TO THE NATIVE SEED MIXES TO BE PLANTED.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
SPRING PLANTING: OATS	8,0
FALL PLANTING: WINTER WHEAT	6,5

HOMESITE LANDSCAPING



ALLOWABLE TURF AREA		TURF SHALL BE PLACED AS SOD WITHIN ONE YEAR OF PLACEMENT OF STRUCTURES ON HOME SITES
CONCRETE SURFACE		CONCRETE SIDEWALK AND PARKING
HOME SITE AREA AVAILABLE FOR PLANTINGS		INDIVIDUAL PLANTING AREAS ARE ALLOWED ON EACH HOME SITE AND SHALL NOT BE LOCATED WITHIN 5' OF ADJOINING LOT LINES
REQUIRED SHADE TREE PLANTING ZONE		ONE 2" CALIPER (MEASURED 1' ABOVE GRADE) CALIPER SHADE TREE SHALL BE PLANTED NO MORE THAN 20' FROM BACK OF SIDEWALK AND NO LESS THAN 5' FROM BACK OF SIDEWALK. ADDITIONAL TREES ARE PERMITTED ON HOME SITES AND MAY BE PLANTED NO CLOSER THAN 5' IN DISTANCE FROM ADJOINING HOME SITE LINES AND SHALL NOT BE PLANTED WITHIN 10' OF UTILITY SERVICE LINES . REQUIRED TREES SHALL BE PLANTED BY THE BUILDER OR LANDOWNER WITHIN ONE YEAR OF PLACEMENT OF STRUCTURES ON HOME SITE AND SHALL BE SELECTED FROM THE CITY OF GREELEYS APPROVED SELECTION OF SPECIES.
NO TREE PLANTING ZONE		TREES ARE NOT TO BE PLANTED CLOSER THAN 5 FEET FROM THE FOLLOWING: REAR OF HOMESITE, MANUFACTURED HOME, OR SIDEWALK TO PREVENT ANY POTENTIAL DISTURBANCE TO THE CONCRETE FOUNDATIONS AND UTILITIES.

0 10' 20'
FEET
Scale: 1" = 10'

HOMESITE LANDSCAPING NOTES:

ALL HOMESITES SHALL BE LANDSCAPED WITHIN ONE (1) YEAR OF UNIT PLACEMENT. INITIAL LANDSCAPING INSTALLATION SHALL BE THE RESPONSIBILITY OF THE BUILDER. ONCE INSTALLED, IRRIGATION AND MAINTENANCE OF LANDSCAPING IS THE SOLE RESPONSIBILITY OF THE OWNER, SUCCESSOR OR ASSIGNS. MINIMUM LANDSCAPING FOR EACH HOME SITE IS AS FOLLOWS:

1. ONE (1) TWO (2") INCH MINIMUM CALIPER SHADE TREE PLANTED IN DESIGNATED AREA SHOWN IN EXHIBIT HEREON.
2. THE REMAINING AREA (OUTSIDE OF THE BUILDING FOOTPRINT, PATIO, DECK, AND PARKING PAD) MUST BE PLANTED WITH LIVING ELEMENTS SUCH AS SOD LAWNS OR GARDENS. ALL HOMESITES MUST BE KEPT FREE OF BARE DIRT AND/OR WEEDS.
3. SEE SHEET 4 ALLOWABLE PARKING PAD LOCATIONS.

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ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

PRELIMINARY SITE & LANDSCAPE DETAILS 01

SHEET16
16 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

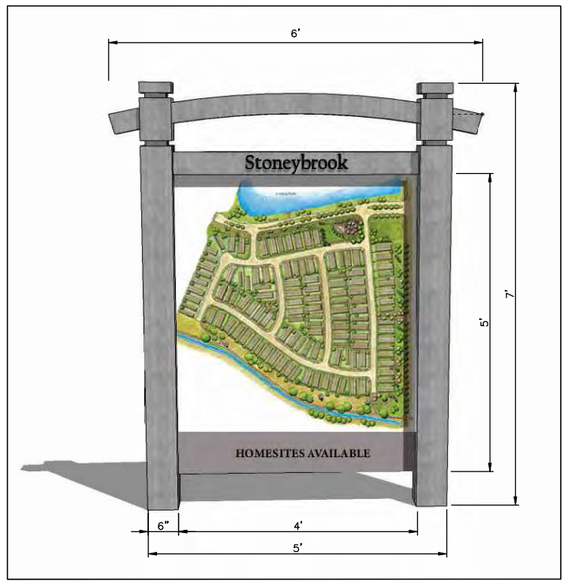
A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

MANUFACTURED HOME SITE IDENTIFICATION SIGN

UNIT IDENTIFICATION SIGN DESIGN STANDARDS:

1. MUST BE POSTED ON THE SIDE OF HOME/ STRUCTURE FACING THE INTERNAL STREET AND SHALL BE POSTED 6' FROM GRADE.
2. SHALL BE CONSTRUCTED OF DURABLE MATERIALS THAT MAY INCLUDE METAL ALLOY'S OR LASTING COMPOSITE MATERIALS.
3. MINION VARIABLE FONT OR FONT OF SIMILAR APPEARANCE.
4. SHALL MATCH SIGNAGE FOR INDIVIDUAL HOME SITES FOUND IN ADJACENT MANUFACTURED HOME COMMUNITY TO THE WEST.

CONCEPTUAL WAYFINDING SIGN



NOTES:

1. WILL BE PLACED AT BOTH ENTRANCES TO THE COMMUNITY.
2. WILL IDENTIFY FOR VISITORS & EMERGENCY SERVICES THE LOCATION OF SPECIFIC HOME SITES.
3. SHALL BE CONSTRUCTED OF METAL OR COMPOSITE MATERIALS FOR DURABILITY.
4. SEE SHEET 13 FOR LOCATIONS.
5. WAYFINDING SIGNAGE LOCATED AT THE ENTRANCE OF THE COMMUNITY MUST MEET CITY OF GREELEY BUILDING CODES.
6. SIGN SHALL BE A MINIMUM SIZE OF 4'x5'.
7. ANY SIGNAGE NOT INCLUDED HEREIN SHALL BE PERMITTED UNDER SEPARATE CITY OF GREELEY PROCESSES AND MUST MEET THE REQUIREMENTS OF CHAPTER 18.54 OF THE GREELEY MUNICIPAL CODE (THE "GREELEY SIGN CODE").

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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COMMUNITY DEVELOPMENT DIRECTOR — DATE

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ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

PRELIMINARY SITE & LANDSCAPE DETAILS 02

SHEET17
17 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

NOTE: IMAGES SHOWN ARE EXAMPLE BUILDING ELEVATIONS AND ARE CONCEPTUAL ONLY. VARIATIONS TO EXTERIOR COLORS AND FINISHED MAY OCCUR.

ARCHITECTURAL DESIGN STANDARDS

MANUFACTURED HOMES SHALL ADHERE TO THE STANDARDS SET FORTH BELOW.

1. NO MANUFACTURED HOME SHALL EXCEED 30' IN HEIGHT.
2. NO MANUFACTURED HOMES OR ACCESSORY STRUCTURES SHALL OVERHANG OR OBSTRUCT ANY DRIVEWAY, PARKING SLAB, STREET, OR PATHWAY.
3. ALL UNITS SHALL BE SKIRTED WITH MATERIALS WHICH ARE THE SAME OR COMPATIBLE WITH THE MATERIAL USED AS THE PRINCIPAL EXTERIOR MATERIAL OF THE UNIT.
4. ROOFING SHALL BE SIMILAR IN COLOR, AND APPEARANCE TO ROOFING IN THE VICINITY OF THE COMMUNITY.
5. PRIMARY EXTERIOR MATERIALS SHALL BE SIMILAR IN COLOR, AND APPEARANCE TO RESIDENTIAL EXTERIORS IN THE VICINITY OF THE COMMUNITY.
6. GARAGES ARE NOT PERMITTED WITH THE COMMUNITY.
7. COVERED PORCHES, PATIOS AND DECKS ARE OPTIONAL AND MUST MEET CITY OF GREELEY BUILDING CODE.

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ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR DATE

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PRELIMINARY PUD

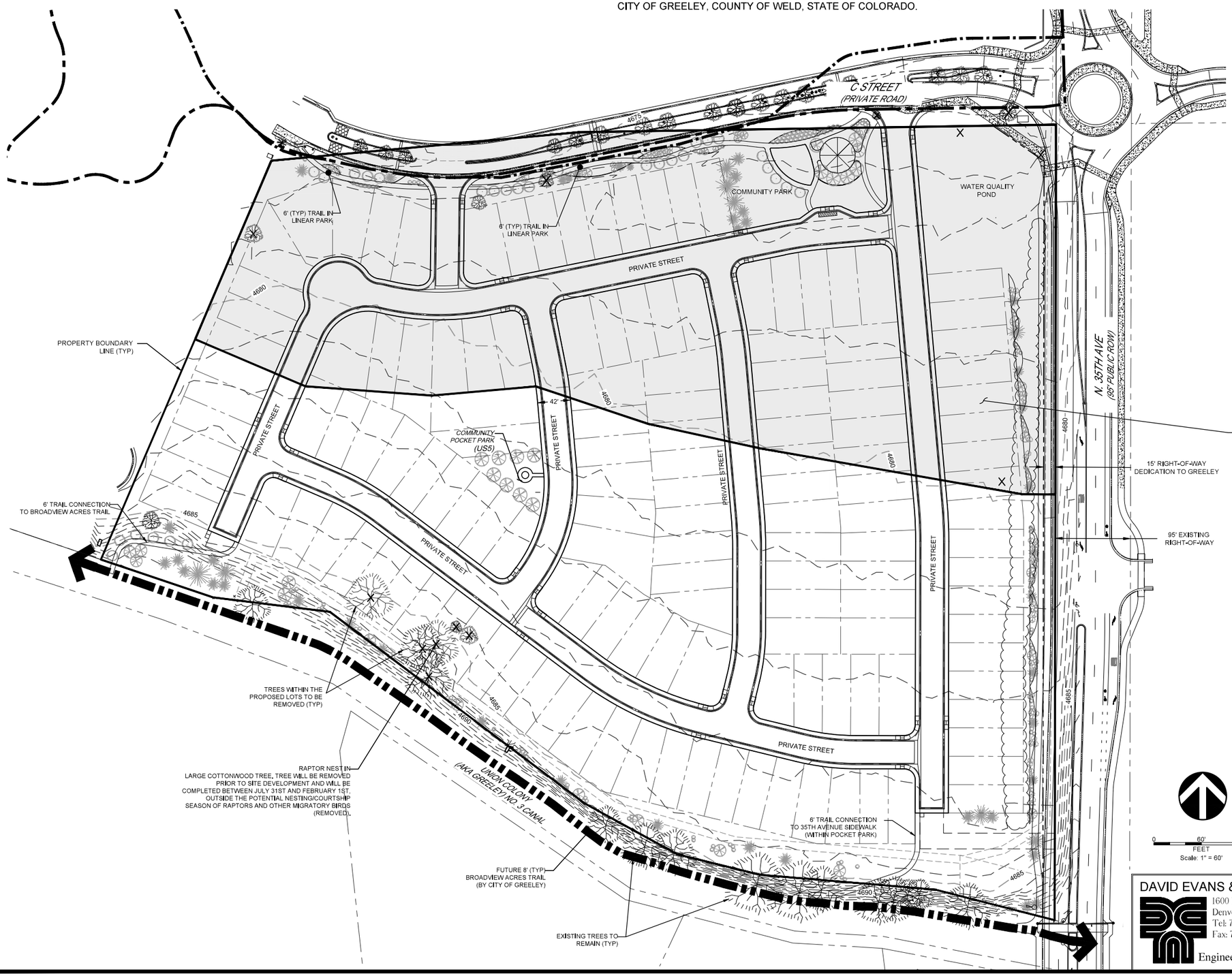
CONCEPTUAL ARCHITECTUAL ELEVATIONS

SHEET18
18 OF 19

DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



LEGEND

- PROPERTY BOUNDARY LINE
- HOMESITE LINE
- 4680 — EXISTING CONTOURS
- PRAIRIE DOG LOCATION/AREA
- CONIFEROUS TREES
- COLUMNAR TREES
- DECIDUOUS TREES
- ORNAMENTAL TREES
- LARGE SHRUB
- MEDIUM SHRUB
- EXISTING TREES TO BE REMOVED
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)

REMOVAL OF EXISTING BLACK TAILED PRAIRIE DOG COLONY. REMOVAL WILL FOLLOW STANDARDS ESTABLISHED IN SECTION 18.48.060(b)(1)(2) OF THE GREELEY DEVELOPMENT CODE. REMOVAL WILL NOT OCCUR BETWEEN MAY 15 THROUGH SEPTEMBER 15 TO PROTECT POTENTIAL BURROWING OWLS UNLESS THE COLONY HAS BEEN SURVEYED BY A PROFESSIONAL BIOLOGIST FOR THE PRESENCE OF BURROWING OWLS.

0 60' 120'
FEET
Scale: 1" = 60'

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ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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1600 Broadway Suite 800
Denver, Colorado 80202
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PRELIMINARY PUD

ECOLOGICAL ASSESMENT

SHEET19
19 OF 19

DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

PROPERTY BOUNDARY MAP

Attachment D

Of Lot 4, Block 1, Stoneybrook Subdivision Filing No. 1,
Situate in the Northeast Quarter of Section 2, Township 5 North, Range 66 West
of the 6th P.M., City of Greeley, County of Weld, State of Colorado

PROPERTY DESCRIPTION

Lot 4, Block 1, Stoneybrook Subdivision Filing No. 1, City of Greeley, County of Weld, State of Colorado.

Said described parcels contain 20.662 Acres, more or less (±).

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the East line of the Northeast Quarter of Section 2, T.5N., R.66W., as bearing South 00°05'52" West as monumented as shown on this plat, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2676.71 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

NOTICE

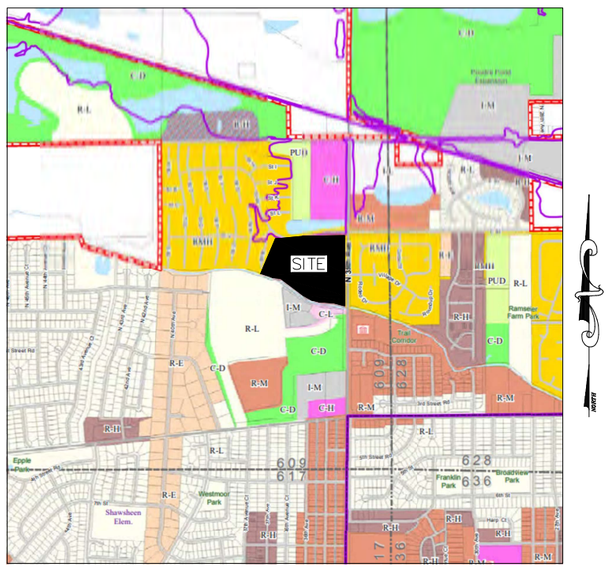
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

SURVEYOR'S STATEMENT

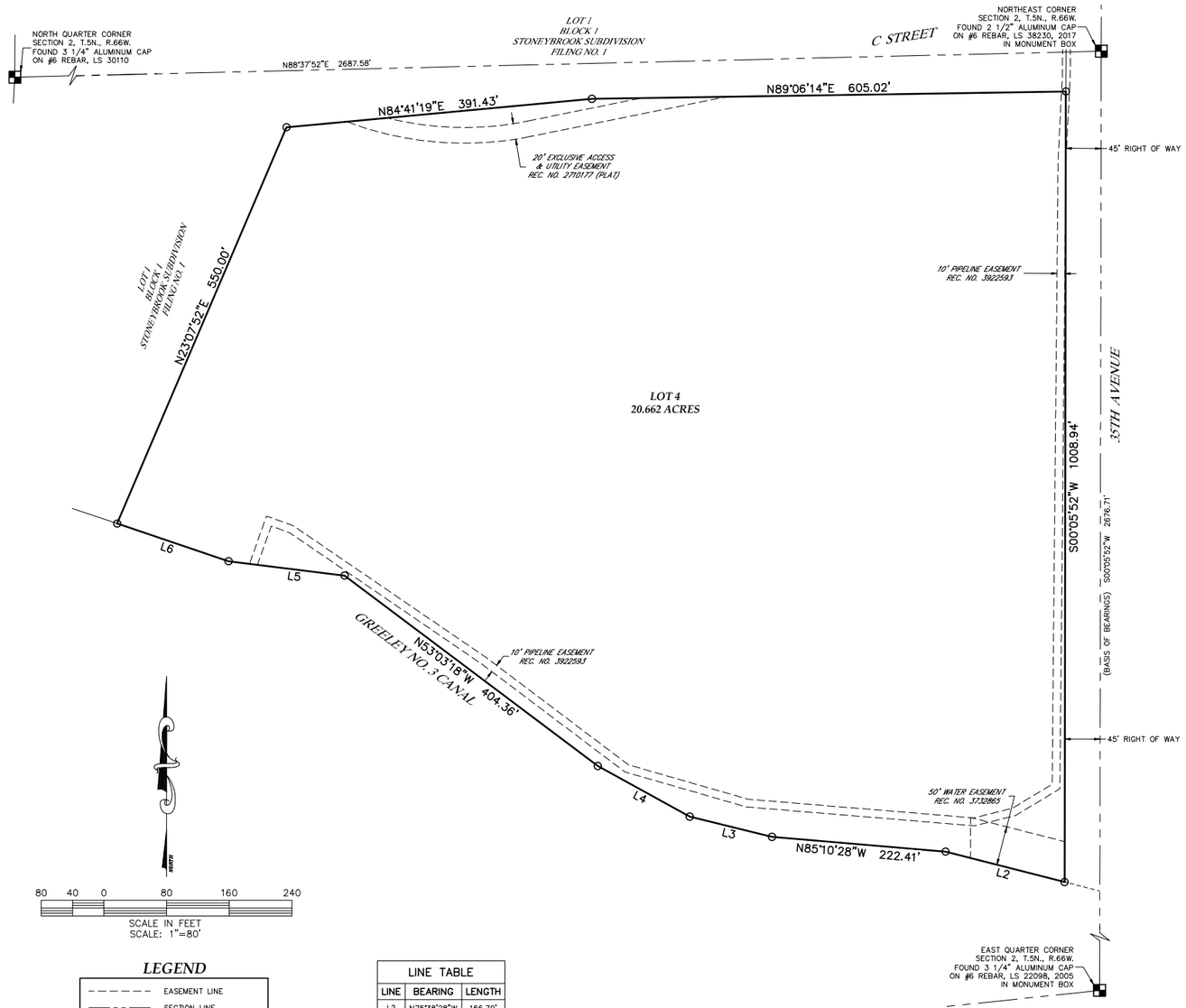
I certify that this map accurately represents the results of a survey made by me or under my direct supervision.

PRELIMINARY

Paul B. Groves – On Behalf Of King Surveyors
Colorado Licensed Professional
Land Surveyor #38209



VICINITY MAP
SCALE: 1"=1000'



80 40 0 80 160 240
SCALE IN FEET
SCALE: 1"=80'

LEGEND

- EASEMENT LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- FOUND ALIQUOT CORNER AS DESCRIBED
- CALCULATED POSITION

LINE TABLE		
LINE	BEARING	LENGTH
L2	N75°38'28"W	156.70'
L3	N76°07'58"W	108.17'
L4	N61°10'58"W	133.88'
L5	N82°56'28"W	149.16'
L6	N71°18'48"W	150.00'

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: contact@KingSurveyors.com

DATE: 5/11/2020
FILE NAME: 20180516REZ
SCALE: 1"=80'
DRAWN BY: CSK
CHECKED BY: PG

REVISIONS: DATE:

PROPERTY BOUNDARY MAP
FOR
LAND ASSET STRATEGIES, LLC
15400 W. 64TH AVENUE, UNIT E9-123
ARVADA, CO 80007

PROJECT #: 20180516

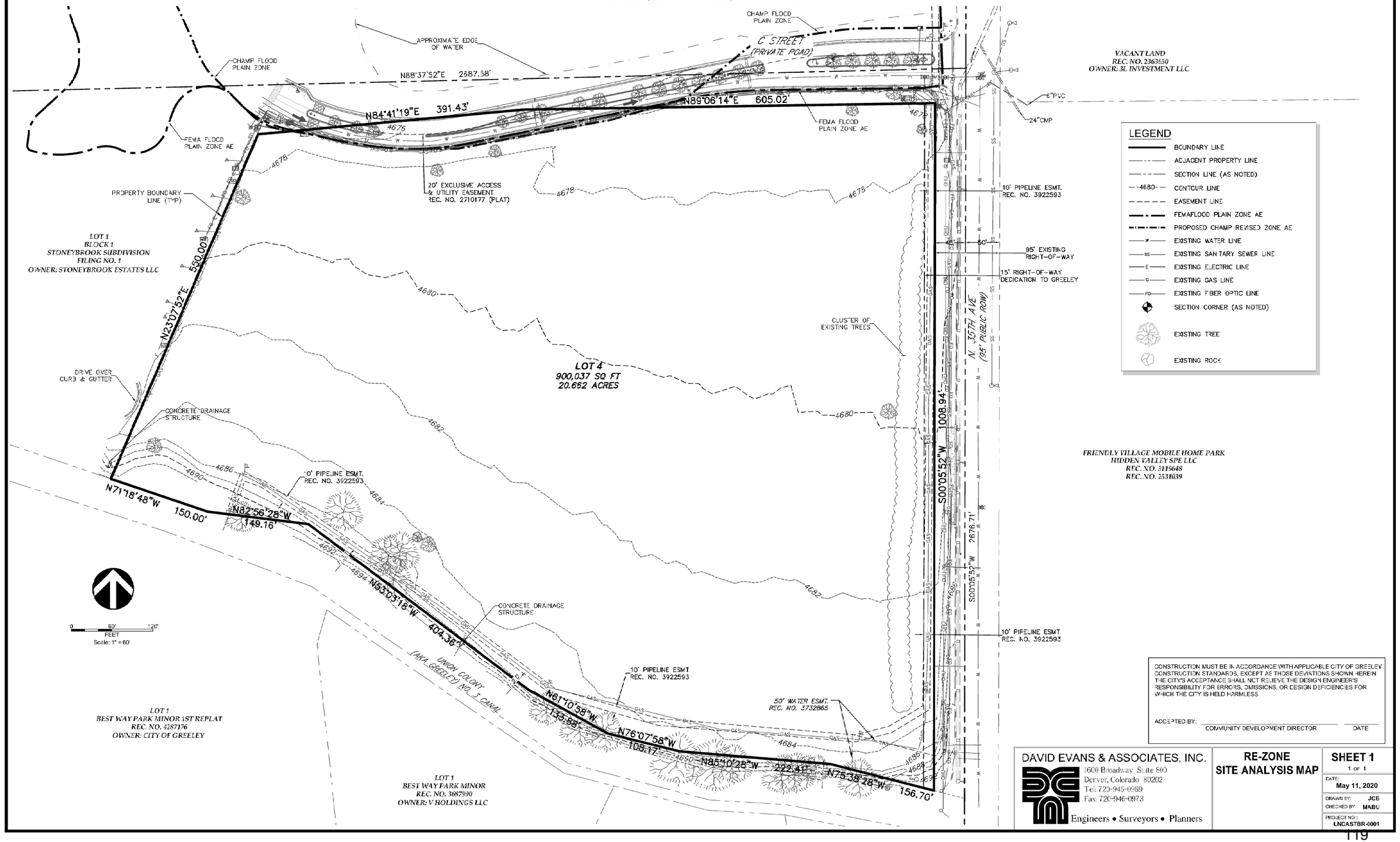
1

SHEET 1 OF 1

V:\20180516\DWG\20180516REZ.dwg, 10/31/2019 10:09:26 AM, 1:1

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 RE-ZONE

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR DATE

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-945-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

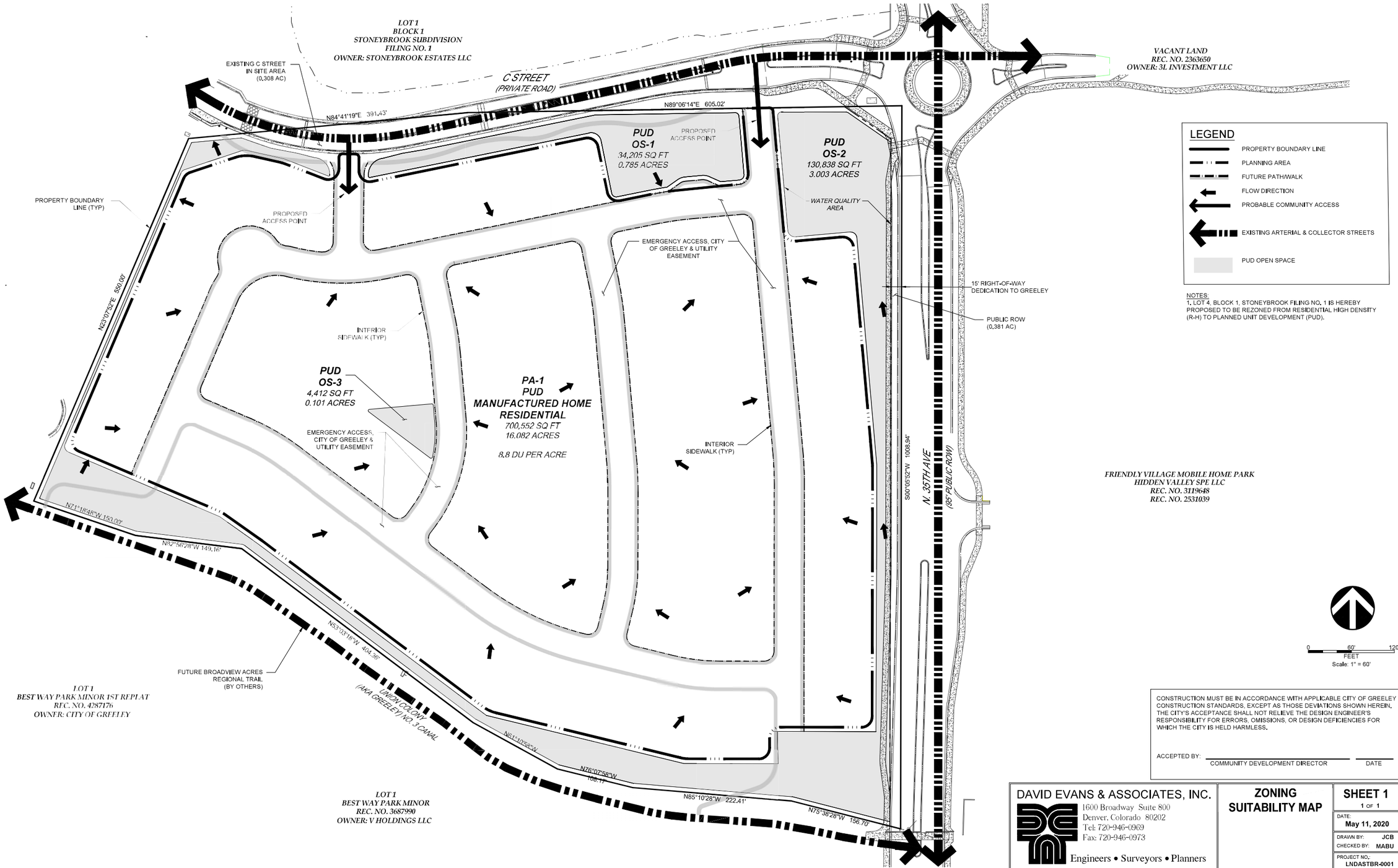
RE-ZONE SITE ANALYSIS MAP

SHEET 1
1 OF 1

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LINCASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 RE-ZONE

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



LEGEND

- PROPERTY BOUNDARY LINE
- PLANNING AREA
- FUTURE PATH/WALK
- FLOW DIRECTION
- PROBABLE COMMUNITY ACCESS
- EXISTING ARTERIAL & COLLECTOR STREETS
- PUD OPEN SPACE

NOTES:
1. LOT 4, BLOCK 1, STONEYBROOK FILING NO. 1 IS HEREBY PROPOSED TO BE REZONED FROM RESIDENTIAL HIGH DENSITY (R-H) TO PLANNED UNIT DEVELOPMENT (PUD).

0 60' 120'
FEET
Scale: 1" = 60'

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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ZONING SUITABILITY MAP

SHEET 1
1 OF 1

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone & Preliminary PUD

ZON2020-0008 & PUD2019-0004

CITY COUNCIL HEARING

August 4, 2020

Caleb Jackson, AICP | Planner II

Request

- **Rezone (ZON2020-0008)**
  - **Approximately 20.7 ac. from R-H to PUD**
- **Preliminary Planned Unit Development (PUD2019-0004)**
  - **Approximately 142 mobile home sites**

Surrounding Zoning & Land Use

- **North: R-MH (Retention Pond)**
- **South: C-L, I-M, R-L (Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility)**
- **East: R-MH (Mobile Home Community)**
- **West: R-MH (Mobile Home Community)**

City of Greeley Colorado

Surrounding Zoning & Land Use

- **North: R-MH (Retention Pond)**
- **South: C-L, I-M, R-L (Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility)**
- **East: R-MH (Mobile Home Community)**
- **West: R-MH (Mobile Home Community)**

City of Greeley Colorado

Surrounding Zoning & Land Use

- **North: R-MH (Retention Pond)**
- **South: C-L, I-M, R-L (Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility)**
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City of Greeley Colorado

Surrounding Zoning & Land Use

- **North: R-MH (Retention Pond)**
- **South: C-L, I-M, R-L (Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility)**
- **East: R-MH (Mobile Home Community)**
- **West: R-MH (Mobile Home Community)**

City of Greeley Colorado

Site History

- **1985 – Putnam Farm Annexation (Ordinance #85)**
- **1985 – Zoned R-3 (Ordinance #97)**
- **1998 – R-3 becomes R-H in Development Code**
- **Site has remained undeveloped since annexation and initial zoning**

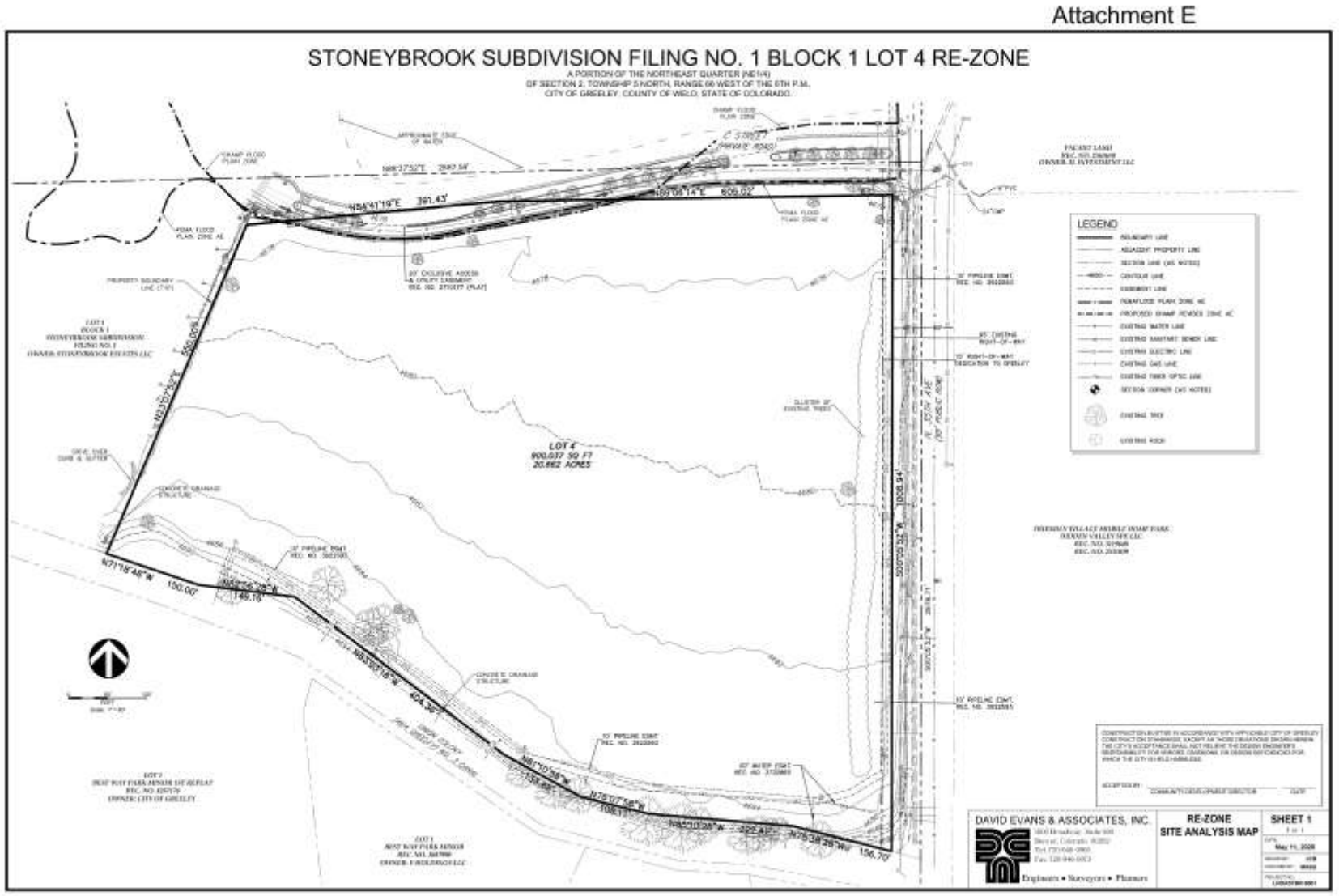
Site Photos

Site Photos

Site Photos

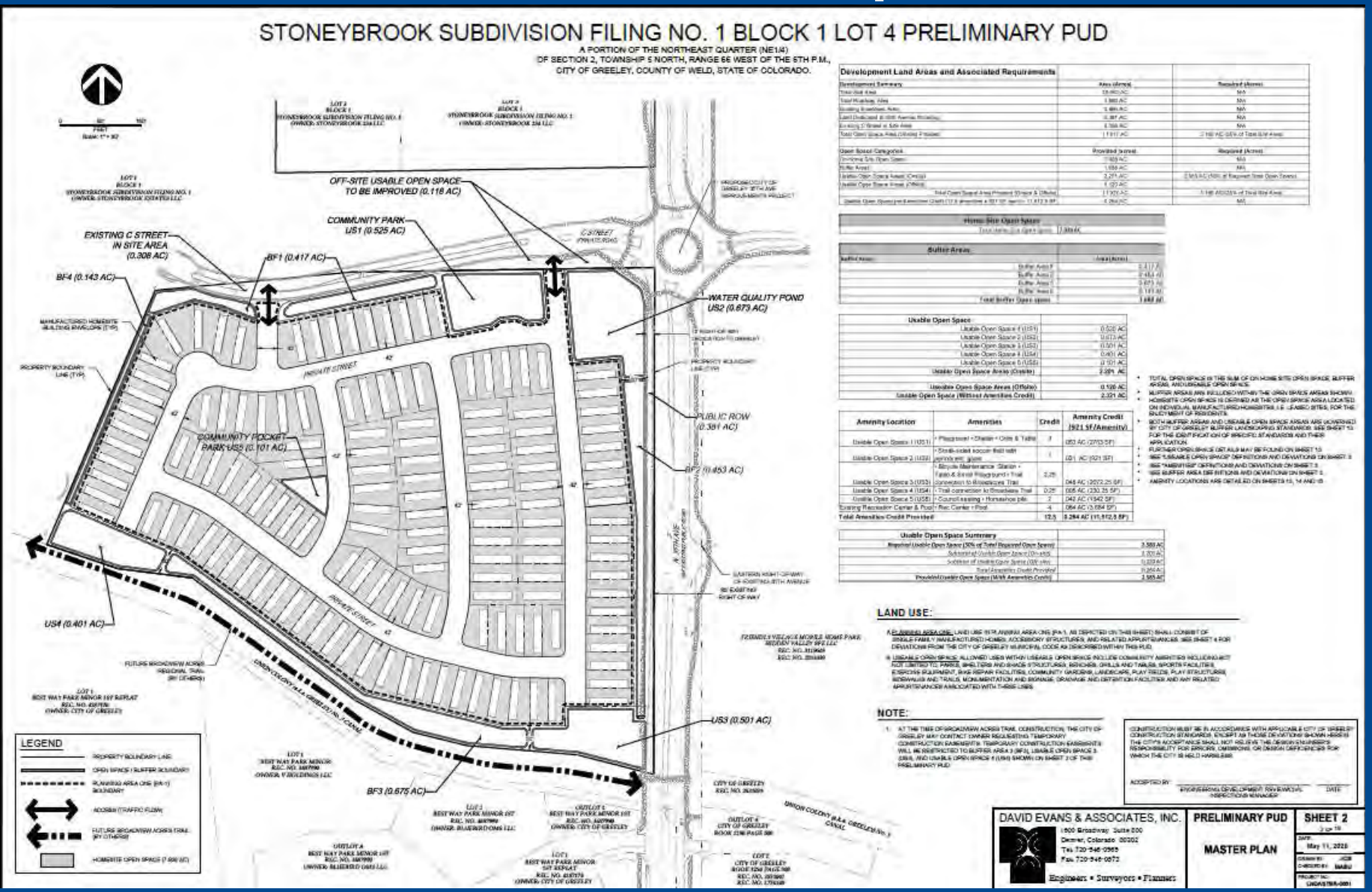
Site Photos

Proposed Rezone



- **Approximately 20.7 acres**
- **R-H to PUD**

Proposed Preliminary PUD



- **Approximately 142 mobile home sites**

City of Greeley Colorado

Administrative Review Team

- **Hazards**
- **Wildlife**
- **Floodplain**
- **Drainage & Erosion**
- **Transportation**
- **Water**
- **Sewer**
- **Emergency Services**
- **Parks, Trails, and Open Space**
- **Schools**
- **Visual Impacts**
- **Noise Impacts**

Rezone Criteria

	§18.30.050
✚	a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?
✚	b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?
N/A	c. Are there clerical or technical errors to correct?
N/A	d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

City of Greeley Colorado

Rezone Criteria

	§18.30.050
✚	**e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?**
✚	**f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?**
✚	**g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?**
✚	**h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?**

Greeley Colorado

PUD Criteria

	§18.30.050
✚	**i. The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.**
✚	**j. PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.**

City of Greeley Colorado

Notice

Notice mailed to landowners within 500 feet.

Two signs posted on the site.

Notice sent to mineral owner.

No public inquiries received.

Recommendation

Planning Commission recommends approval of the Rezone (ZON2020-0008) and Preliminary PUD (PUD2019-0004).

Two motions required (rezoning)

One motion required (preliminary PUD)

Council Agenda Summary

August 4, 2020

Agenda Item Number 16

Key Staff Contact: Brad Mueller, Community Development Director, 970-350-9786

Caleb Jackson, Planner, 970-50-9876

Title:

A public hearing to consider establishment of a Preliminary PUD (Planned Unit Development) that would allow a mobile home community on a 20.662-acre parcel located west of north 35th Avenue and south of C Street

Summary:

The applicant is requesting approval of a Preliminary PUD that would allow a mobile home community consisting of approximately 142 dwelling units. Submittal of a Final PUD would be required within three years of the date of approval of a Preliminary PUD.

The proposed Preliminary PUD consists of a single lot with the 142 mobile home sites to be served by private streets. Open space, trail connections, and amenities are incorporated into the project to allow for pedestrian connectivity, outdoor activity and access to the Broadview Acres Trail (construction scheduled to begin in Fall 2020).

As highlighted by the Strategic Housing Plan in 2019, the base code standards for mobile home communities are outdated and prohibitive. Staff recommendation is to pursue a PUD to establish modern standards that facilitate development of the mobile home community while ensuring a high-quality development.

The Planning Commission considered this request on July 14, 2020 and unanimously recommended approval to City Council.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	No
If yes, what is the initial, or, onetime impact?	
What is the annual impact?	
What fund of the City will provide Funding?	
What is the source of revenue within the fund?	
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	
Is this grant onetime or ongoing?	
Additional Comments:	

Legal Issues:

Consideration of this matter is a quasi-judicial process which includes the following public hearing steps:

1) City staff presentation
2) Council questions of staff
3) Applicant presentation
4) Council questions of applicant
5) Public input (hearing opened, testimony - up to three minutes per person, hearing closed)
6) Rebuttal, if requested
7) Council discussion
8) Council decision

Other Issues and Considerations:

None noted.

Applicable Council Priority and Goal:

Consistency with Comprehensive Plan and Development Code standards.

Decision Options:

1) Approve the Preliminary PUD as presented; or
2) Amend the Preliminary PUD and approve as amended; or
3) Deny the amended Preliminary PUD; or
4) Continue consideration of the Preliminary PUD amendment to a date certain.

Council's Recommended Action:

A motion to approve the Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Preliminary PUD to allow for a mobile home community on a 20.662-acre parcel located west of north 35th Avenue and south of C Street.

Attachments:

Planning Commission Minutes-Draft (July 14, 2020)
Planning Commission Summary (Staff Report) (July 14, 2020)
PowerPoint Presentation

PLANNING COMMISSION
Proceedings

July 14, 2020

Council Chambers – City Center South
1001 11th Avenue
1:15 p.m.

DRAFT

I. Call to Order and Roll Call

Chair Yeater called the meeting to order at 1:15 p.m. Commissioners Andersen, Briscoe, Franzen, Modlin and Romulo were present. (Commissioner Schulte was absent.)

II. Approval of minutes for meeting held on June 23, 2020

Commissioner Briscoe moved to approve the minutes dated June 23, 2020. Commissioner Romulo seconded. The motion carried 6-0. (Commissioner Schulte was absent.)

III. Approval of minutes for meeting held on June 30, 2020

Commissioner Briscoe moved to approve the minutes of the special hearing dated June 30, 2020. Commissioner Romulo seconded. The motion carried 6-0. (Commissioner Schulte was absent.)

IV. A public hearing to consider a rezone of approximately 20.7 acres from R-H (Residential High Density) to PUD (Planned Unit Development)

Project Name:	Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Rezone
Case No.:	ZON2020-0008
Applicant:	Bob Eck, Stoneybrook 234 LLC
Location:	West of 35th Avenue, south of "C" Street
Presenter:	Caleb Jackson, Planner II

Prior to the presentation, Chair Yeater advised that he would recuse himself from hearing Items III and IV and Vice Chair Briscoe presided over the meeting. Caleb Jackson addressed the Commission and requested to combine the presentations for Items III and IV, adding that two motions would be required.

Mr. Jackson described both items and provided a brief history of the site beginning with its annexation to the City in 1985. He went on to describe the site and surrounding areas and also presented several photographs of the parcel. Mr. Jackson described the proposal to rezone the site from Residential High Density (R-H) to Planned Unit Development (PUD) and explained that a Preliminary PUD was being proposed to allow for 142 mobile home sites on the property.

Mr. Jackson added that there would be no vehicle access directly off of 35th Avenue. He briefly discussed the proposed amenities, including trails and pedestrian connectivity, parks and open space areas. He stated that the City will be widening 35th Avenue adjacent to the site that will include roundabout at C Street, adding that the widening project would necessitate removal of some of the trees. The applicant is working with the City forester on replacement of trees.

Mr. Jackson described the various approval criteria for a rezone and a PUD, adding that the Strategic Housing Plan adopted by the City establishes goals of encouraging mobile home development. He stated that the Comprehensive Plan also supports this type of development and noted that adequate infrastructure is in place to service the development.

The proposals were reviewed by the Administrative Review Team and all comments were addressed. Notices were mailed to property owners within 500 feet of the site and two signs were posted. Notices were also sent to mineral owners. Staff received no inquiries and recommended approval. Caleb reminded the Commission that two motions would be required.

Upon question by Commissioner Andersen about the difference between a mobile home community and structures in a residential high density zone district, Mr. Jackson advised that R-H zoning allows for high density housing such as apartments, townhomes, and other stick-built architecture, but does not include mobile or modular homes. He added that the original Stoneybrook subdivision was first zoned PUD and later changed to R-H. Commissioner Andersen asked whether these types of zoning issues will be addressed in the Development Code update and Mr. Jackson stated that best practices would be identified and considered as part of the Code update.

Commissioner Modlin asked whether the PUD will provide for any flexibility regarding lot sizes and characteristics to accommodate larger or different shaped mobile homes. Mr. Jackson reported that there is some flexibility, but that these are not typical home sites but a land-lease situation. Commissioner Andersen asked whether the land will be owned by a single owner and rented to each mobile home owner. Mr. Jackson believed that to be the case and invited her to confirm with the applicant.

Commissioner Briscoe referred to the extensive engineering report relating to the floodplain and asked Mr. Jackson to briefly summarize and provide an overview of the impacts and potential risks to the development. Mr. Jackson pointed out the floodplain along C Street on the rezone map and stated that the impacts to the property are minimal. He suggested that someone from Engineering Development Review or the applicant might be able to provide more detailed information.

Commissioners Romulo and Andersen both asked about impacts to adjacent property. Mr. Jackson invited one of the applicant's representatives to the podium.

Will Wagenlander from David Evans and Associates, the applicant's representative, addressed the Commission and provided a brief visual presentation. Mr. Wagenlander stated that the development will fulfill a number of strategies identified in the City's Strategic Housing Plan by providing affordable housing and diversified housing options. He added that the applicant would bring two-thirds of the required raw water to the City.

Mr. Wagenlander advised that there would be a 15-foot easement along 35th Avenue for widening the road and adding curb, gutter and sidewalks. In addition, as part of the school impact fees recently adopted by Weld Re-6 School District, Mr. Wagenlander advised that the applicant would provide $2500 per home unit to the school district. He added that this infill development will contribute to the community. The applicant has entered into an agreement with RHP, the mobile home manufacturer that currently owns Stoneybrook and Friendly Village mobile home parks. The residents of the proposed development will have access to the existing Stoneybrook recreation center and pool as well as close proximity to the Poudre Trail and transit stops. Mr. Wagenlander stated that a metropolitan district was not being requested and that infrastructure would be financed by the owner. He briefly described other amenities and presented renderings of the open space areas and conceptual elevations of the manufactured homes. Mr. Wagenlander also mentioned that some of the trees along 35th Avenue had been relocated.

Upon question by Commissioner Modlin, Mr. Wagenlander advised that the mobile home pads are 16 feet x 76 feet. Commissioner Modlin pointed out that the plans seemed to show different lot sizes that could allow for placement of different size homes. Mr. Wagenlander advised that slabs would not be poured until a site was ready to be developed. Commissioner Modlin asked whether larger lots might have more flexibility as to size and configuration of a home placed on the site. Mr. Wagenlander stated that there would be limited flexibility, but that the intent was to create a community that exemplifies a certain aesthetic.

Commissioner Briscoe asked whether lot rent for each site had been identified and also about the average cost per dwelling to be purchased. He asked the applicant to explain the model and how it would work for someone wishing to purchase a home in the community.

The applicant, Bob Eck, 12650 West 64th Avenue, Arvada, Colorado, addressed the Commission and stated that lot rent would be in the area of $500-$600 per month. He explained that in a land/lease community, the land where a home sits is owned by a single owner and the mobile home is purchased by the resident. The monthly fee is rental for the site the home sits upon. He added that the monthly fee can include a number of things such as amenities and utilities. Upon question by Commissioner Franzen, Mr. Eck stated that there would be a homeowners' association. Commissioner Franzen also asked about the average cost of a mobile home. Mr. Eck advised that the approximate price of a 1300-1400 square foot unit was in the low $100,000 range. He added that typically financing applies only to the unit and not the land, making it more affordable and easier for a buyer to qualify.

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Commissioner Modlin asked whether there was sufficient room for on street parking if vehicles are parked on both sides of the street. Mr. Eck advised that the proposed road width meets the City standard. He noted that every unit also has two off street tandem parking spaces. There was discussion about whether there might be room for side-by-side parking as opposed to tandem parking. Mr. Eck agreed that some lots were large enough to accommodate a side-by-side driveway configuration. Commissioner Modlin expressed concern that the tandem driveway parking configuration could cause an increase in vehicles parking on the street.

Upon question by Commissioner Anderson, Mr. Eck stated that he had no preference about a traffic signal or roundabout at C Street, but added that it can be difficult to maneuver a 76-foot-long mobile home though a roundabout. He stated that some of the trees on the site had been removed, including the tree with the raptor nest, and that the remaining trees were on City property.

Matt Buster, civil engineer with David Evans and Associates, addressed the Commission and responded to questions about the floodplain, noting that C Street is the limiting barrier under the existing FEMA floodplain as well as the CHAMP (Colorado Hazard Mapping Program) model study being developed. He reported that in both cases, the floodplain is bounded by curb and gutter on C Street and extends further north, impacting Lots 2 and 3 of the Stoneybrook subdivision which are also owned by the applicant.

Commissioner Romulo noted the floodplain map showing a lot of impervious surface area on the property to the west and north and asked how that might impact the site. Mr. Buster indicated that the imperviousness mainly impacts the hydrology of the river and stated that the property to the north is currently undeveloped. He added that what is modeled in the current hydrology shows the current conditions that exist today. Regarding the sidewalk width, Mr. Buster reported that the five-foot sidewalks meet ADA requirements.

Vice Chair Briscoe opened the public hearing opened at 1:58 p.m. There being no public input or e-mail communication, the public hearing was closed at 1:58 p.m.

Upon question by Commissioner Modlin, Mr. Jackson advised that some of the points discussed would be addressed at the Final PUD stage. Commissioner Andersen observed that since there will be changes with the Development Code update, it is necessary to approve the rezone and Preliminary PUD now to allow the developer to do what is necessary under the existing Development Code.

Commissioner Andersen moved that, based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone meets Development Code Section 18.30.050(c)(3) a, b, e, f, h and g; and, therefore, recommends approval to City Council. Commissioner Franzen seconded. The motion carried 5-0. (Chair Yeater recused himself and Commissioner Schulte was absent.)

DRAFT

Commissioner Andersen moved that, based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Preliminary PUD meets Development Code Section 18.32.040(b); and, therefore, recommends approval to City Council. Commissioner Franzen seconded. The motion carried 5-0. (Chair Yeater recused himself and Commissioner Schulte was absent.)

V. A public hearing to consider a Preliminary PUD allowing for a mobile home community on a 20.7-acre parcel

Project Name:	Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Preliminary PUD
Case No.:	PUD2019-0004
Applicant:	Bob Eck, Stoneybrook 234 LLC
Location:	West of 35th Avenue, south of "C" Street
Presenter:	Caleb Jackson, Planner II

Chair Yeater returned to the hearing. Briscoe turned meeting over to Yeater who introduced the next item.

DRAFT

PLANNING COMMISSION SUMMARY

ITEMS: Rezone property from R-H (Residential High Density) to PUD (Planned Unit Development) and a Preliminary PUD

FILE NUMBER: ZON2020-0008 & PUD2019-0004

PROJECT: Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone & Preliminary PUD

LOCATION: West of N 35th Avenue, South of C Street

APPLICANT: Bob Eck of Stoneybrook 234 LLC

CASE PLANNER: Caleb Jackson, AICP | Planner II

PLANNING COMMISSION HEARING DATE: July 14, 2020

PLANNING COMMISSION FUNCTION:
The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make recommendations to the City Council regarding the applications in the form of a finding based on the review criteria in Sections 18.30.050(c)(3) and 18.32.040(b) of the Development Code.

EXECUTIVE SUMMARY
The City of Greeley is considering a request from Bob Eck of Stoneybrook 234 LLC to rezone approximately 20.7 acres of land from R-H (Residential High Density) to PUD (Planned Unit Development) and establish a Preliminary PUD allowing a mobile home community consisting of approximately 142 dwelling units located at the southwest corner of N 35th Avenue at C Street.

A. REQUEST
The applicant is requesting approval to rezone approximately 20.7 acres located at the southwest corner of N 35th Avenue at C Street (see Attachments A & B) from R-H (Residential High Density) to PUD (Planned Unit Development) and establish a Preliminary PUD allowing a mobile home community consisting of approximately 142 dwelling units. A Final PUD would be required within 3 years of the date of approval of a Preliminary PUD.

The proposed Preliminary PUD (see Attachment C) consists of a single lot with approximately 142 sites for mobile homes served by private streets. Open space, trail connections, and amenities

are incorporated into the project to allow for pedestrian connectivity, outdoor activity, and access to the Broadview Acres Trail being extended by the City adjacent to the site with construction beginning in Fall 2020. Vehicular access is proposed from C Street.

As highlighted by the Strategic Housing Plan in 2019, the base code standards for mobile home communities are outdated and prohibitive. As such, staff recommended that the applicant pursue a PUD to establish modern standards that facilitate development of the mobile home community while ensuring a high-quality development. Identified deviations from typical code standards are outlined on Page 3 of the Preliminary PUD (see Attachment C).

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning/Land Use:

North: R-MH (Residential Mobile Home Community)
South: C-L (Commercial Low Intensity), I-M (Industrial Medium Intensity), & R-L (Residential Low Density)
East: R-MH (Residential Mobile Home Community)
West: R-MH (Residential Mobile Home Community)

Site Characteristics:

The site is presently undeveloped and slopes northward with the highline being along the south property line adjacent to the Greeley #3 Ditch. A small section on the north side of the property, where C Street is located, sits within the 100-year floodplain.

Surrounding Land Uses:

North: Retention Pond
South: Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility
East: Mobile Home Community
West: Mobile Home Community

D. BACKGROUND

The subject property was annexed into the City of Greeley as part of the Putnam Farm Annexation in 1985 by Ordinance No. 85. The subject property was zoned R-3 (Multi-Family Residential) upon annexation by Ordinance No. 97, 1985. With the adoption of the Zoning Code of 1998, the R-3 Zoning District transitioned to the R-H Zoning District. The site has remained undeveloped without concrete development proposals prior to this request.

E. APPROVAL CRITERIA

Rezone Criteria:

In accordance with §18.30.050, the following criteria, as applicable, should be used to evaluate the rezoning request:

a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

Staff Comment: The subject area has changed since the initial zoning in 1985, with the successful completion of a mobile home community to the west of the subject site, and additional development in the vicinity such as the fire training facility. Rezoning is in the public interest to encourage development of the subject site, and facilitate development of manufactured home communities as described in the Strategic Housing Plan.

The proposed request complies with this criterion.

b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

Staff Comment: The existing R-H zoning has been in place since annexation in 1985. The current zoning appears obsolete considering that the site remains vacant, while adjacent sites successfully operate as mobile home communities.

The request complies with this criterion.

c. Are there clerical or technical errors to correct?

Staff Comment: The proposal is not related to correcting clerical or technical errors.

This criterion is not applicable.

d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: The 100-year floodplain skirts the northern edge of the property and some steep slopes are present at the southern edge of the property; however, these factors do not impact

development of the bulk of the site and were present during the consideration of the original zoning.

This criterion is not applicable.

e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The proposal is not associated with a community related use. However, the Imagine Greeley Comprehensive Plan adopted subsequent to the existing zoning identifies the subject site for Suburban Neighborhood, which generally envisions residential densities more in line with the proposed zoning than those possible if the site was developed with multi-family dwellings as permitted by the current zoning. Furthermore, the Strategic Housing Plan was adopted in 2019 that encourages the facilitation of manufactured home communities.

The proposal complies with this criterion.

f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?

Staff Comment: The proposal would generally present lesser impacts to the neighborhood than if the property were to be developed with multi-family dwellings, as allowed under the present zoning. The proposed mobile home community is consistent with the area, being adjacent to two existing mobile home communities. Noise generation is anticipated to be comparable to existing adjacent developments, and adverse visual impacts are not anticipated, especially with the proposed landscaping provided along the public thoroughfare adjacent to the site, N 35th Avenue (see Attachment C). No adverse environmental impacts are expected, and the ecological impacts are proposed to be mitigated per the biologist's recommendations (see Attachment G).

Impacts to the City services such as police, fire, water, sewer, street and pedestrian systems, and parks and recreation facilities are expected to be less intense than if the property were to be developed with multi-family dwellings as allowed by the current zoning. Adequate services currently exist to support the proposed development, and additional infrastructure will soon be constructed in the immediate vicinity. Upcoming capital projects include widening N 35th Avenue, the provision of non-potable lines, and the extension of the Broadview Acres Trail.

The proposal complies with this criterion.

g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?

Staff Comment: The proposal is consistent with the Imagine Greeley Comprehensive Plan and its sub-elements, specifically the Strategic Housing Plan regarding the facilitation of developing manufactured home communities. The only overlay on the subject property is related to the 100-year floodplain which does not impact development of the site as proposed. The proposal is supported by the following specific Imagine Greeley Comprehensive Plan goals and objectives:

Goal ED-3: Attract and maintain an employed, skilled, and adaptable workforce.

> Objective ED-3.1 Diverse Workforce
> Provide diverse economic opportunities, jobs, and housing and transportation options to ensure that Greeley is attractive to and inclusive of a diverse workforce.

Goal GC-1: Manage growth effectively.

> Objective GC-1.2 Form of Growth
> Encourage a compact urban form over sprawl or leap-frog development.
>
> Objective GC-1.3 Adequate Public Facilities
> Restrict development to the Adequate Public Facilities Area (APFA) except where the developer provides the equivalent level, or cash-in-lieu at a rate determined by the City, to install infrastructure that would otherwise be provided by the City.
>
> Objective GC-1.6 Transitions to Parks and Open Lands
> Ensure that new development abutting land that is intended to remain undeveloped, such as parks, open lands, environmentally sensitive areas, and agricultural land with conservation easements, provides for transitions in uses and intensity that mitigate impacts on these adjacent areas.

Goal GC-2: Promote a balanced mix and distribution of land uses.

> Objective GC-2.2 Jobs/Housing Balance
> Support zoning and development patterns that expand opportunities for people who live in Greeley to also work in Greeley (or vice versa).

Goal GC-3: Promote new development, infrastructure investments, and public improvements that enhance the character of the community.

> Objective GC-3.4 Tree City
> Reinforce the community's image as a "Tree City" by promoting the establishment and maintenance of tree-lined travel corridors throughout the community, taking into consideration water use, conservation strategies, and the natural environment.

Goal GC-6: Maintain and enhance the character and inter-connectivity of Greeley's neighborhoods.

> Objective GC-6.2 Neighborhood Connectivity
> Promote design standards and practices that improve connectivity for all modes between neighborhoods and adjacent neighborhoods, centers, corridors, and areas.

Goal HO-2: Encourage a broad diversity of housing options.

> Objective HO-2.1 Diversity in New Development
> Encourage a variety of housing types, sizes, styles, and price-points of housing units within new residential projects or subdivisions. Ensure that Greeley has neighborhoods and/or development sites available and attractive to its desired workforce, including higher-end housing for executives and other high-paid workers.

Goal NR-1: Protect, conserve, maintain, and improve the quality and quantity of water available to Greeley.

> Objective NR-1.4 Non-Potable Water
> Assertively promote the use of non-potable water for irrigation as a viable and efficient alternative to treated water.

Goal NR-3: Demonstrate stewardship of the environment.

> Objective NR-3.7 Urban Forest
> Protect, maintain, and expand the urban forest within and around the city.

Goal TM-1: Develop and maintain an accessible, integrated, safe, and efficient transportation system.

Objective TM-1.2 Pedestrian Movements
Ensure pedestrian movement and accessibility is considered in the design and construction of all public and private development projects. Ample and safe sidewalks and other pedestrian pathways within and between developments should be provided.

Goal TM-3: Ensure that land use and transportation decisions, strategies, and investments are coordinated and complementary.

Objective TM-3.2 Supportive Development
Ensure that all proposed development projects demonstrate the ability to accommodate pedestrian and bicycle travel.

The proposal complies with this criterion.

h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

Staff Comment: The property can be successfully developed as shown on the Zoning Suitability Plan (see Attachment F).

The proposal complies with this criterion.

PUD Criteria

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section l 8.30.050 which are outlined above applicable to the rezoning of land:

i. The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.

Staff Comment: The proposal meets this requirement. The area of the proposed PUD is approximately 20.7 acres.

j. PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal

design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.

Staff Comment: The Land Use Guidance Map identifies the site for Suburban Neighborhood and envisions densities typically between 2 and 5 dwelling units per acre with up to 10 units per acre in some locations. The proposed PUD nets approximately 6.9 units per acre, which is consistent with the Suburban Neighborhood classification and is less dense than could be expected with multi-family development permitted by the current R-H zoning.

F. PHYSICAL SITE CHARACTERISTICS

HAZARDS

Some steeps slopes are located on the southern edge of the site that are proposed to be incorporated into the landscape buffer. An unhealthy cottonwood tree was removed from the site. No additional hazards are present impacting the proposed development.

WILDLIFE

The subject site is identified on the Areas of Ecological Significance Map as an area with potentially significant natural features that could be moderately impacted by development. The applicant provided a biologist's report (see Attachment G) in accordance with §18.48.050(b) of the Development Code that identified appropriate practices to mitigate the impact of development on the ecological value of the site especially regarding the black-tailed prairie dog colony and a raptor's nest on the site. The tree containing the inactive raptor's nest was unhealthy and removed outside of the nesting season in compliance with the recommendations and the prairie dog colony cannot be removed during the burrowing owl nesting season of May 15 to September 15, without professional confirmation concluding no burrowing owl activity is occurring.

FLOODPLAIN

A small portion of the property is located within the l00-year floodplain, according to the adopted Federal Emergency Management Administration (FEMA) flood data. The floodplain skirts the northern edge of the site, along C Street, and should not impact the proposal. The applicant has diligently consulted with the City of Greeley's Floodplain Administrator and has adequately addressed floodplain standards.

DRAINAGE AND EROSION

Increases in stormwater flows from development are proposed to be addressed by an on-site detention and water quality pond at the northeast corner of the property (see Attachment I). Erosion control devices are required and are reviewed by the City to ensure that best management practices are utilized as the project progresses (see Attachment H).

TRANSPORTATION
The applicant proposes automobile access to the site via C Street. The applicant continues to coordinate with Public Works Department as the City intends to widen N 35th Avenue adjacent to the proposal, including a roundabout at C Street in 2021. The site is directly served by a Greeley-Evans Transit bus stop along N 35th Avenue. Bicycle lanes are proposed to be included in the widening of N 35th Avenue. Bicycle traffic can also access the site from connections to the Broadview Acres Trail, which is proposed for extension adjacent to the site with construction beginning in Fall 2020. Pedestrian access to the site is proposed to be facilitated by sidewalk connections to C Street and two accesses to Broadview Acres Trail.

The applicant has diligently consulted with the Public Works Department and has adequately addressed transportation criteria (see Attachment K).

G. SERVICES

WATER
Adequate City of Greeley water infrastructure is present to serve the proposed development. The City intends to install non-potable infrastructure with the widening of N 35th Avenue in 2021 and has discussed opportunities with the applicant. The applicant would continue to work with the Water & Sewer Department to finalize the design for the Final PUD.

SEWER
Adequate City of Greeley sewer infrastructure is present to serve the proposed development. The applicant would continue to work with the Water & Sewer Department to finalize the design for the Final PUD.

EMERGENCY SERVICES
The property is served by Greeley Police and Fire Departments. Fire Station #3 is located along N 35th Avenue immediately southeast of the subject site. Sufficient access is provided for emergency vehicles to reach the proposed development.

PARKS, TRAILS, AND OPEN SPACES
The site is served by the Broadview Acres Trail, which currently terminates near the southeast corner of the site at N 35th Avenue. The site will be further served by the anticipated extension of the Broadview Acres Trail along the Greeley #3 Ditch, which is located immediately adjacent to the site and will be constructed beginning in Fall 2020. Additionally, the Larson Trail is approximately 500 yards west of the site. The nearest public park, Ramseier Farm Park, is located about one-half mile east of the subject site.

The lot was previously zoned and platted for residential development and is not subject to land dedication or cash-in-lieu for parkland.

The proposed development would also feature significant on-site open space and amenities, and residents may access amenities such as the recreation center and pool in the adjacent Stoneybrook development.

SCHOOLS

The subject site is within the boundaries of Greeley-Evans School District 6. The site is currently zoned R-H (Residential High Density), and the proposal is not anticipated to significantly alter the number of students when compared to developing under the current zoning. The applicant intends to finalize an agreement to pay cash-in-lieu towards school land.

H. NEIGHBORHOOD IMPACTS

VISUAL

The proposed use is consistent with the area and adverse visual impacts are not anticipated by the proposed development. The proposal includes significant landscaping on the perimeter of the site, providing an attractive environment along N 35th Avenue, which is the only public thoroughfare adjacent to the subject site.

NOISE

The proposed use is not anticipated to generate excessive noise. Noise created by the proposed use will be regulated by the Municipal Code enforceable by the Greeley Police Department.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices for this hearing were mailed to surrounding landowners on June 26 and notice was provided in the newspaper per Development Code standards. Signs were posted on the site on June 30. The applicant notified the mineral owner of this hearing in accordance with Development Code standards.

No comments were received prior to finalizing this report.

J. PLANNING COMMISSION RECOMMENDED MOTIONS

The proposal encompasses two agenda items and requires two separate motions. The first motion is related to the rezoning, and the second motion is related to the Preliminary PUD.

Rezone:
Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone meets Development Code Section 18.30.050(c)(3) a, b, e, f, h and g and therefore recommends approval to City Council.

Preliminary PUD:
Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Preliminary PUD meets Development Code Section 18.32.040(b) and therefore recommends approval to City Council.

ATTACHMENTS
Attachment A – Vicinity Map
Attachment B – Project Narrative
Attachment C – Preliminary PUD
Attachment D – Property Boundary Map
Attachment E – Site Analysis Map
Attachment F – Zoning Suitability Map
Attachment G – Biologist's Report
Attachment H – Grading, Erosion, and Sediment Control Plans
Attachment I – Preliminary Drainage Report
Attachment J – Stormwater Management Plan
Attachment K – Traffic Impact Study
Attachment L – N 35th Ave Widening Plans

VICINITY MAP

Attachment A

DAVID EVANS AND ASSOCIATES INC.

July 7, 2020

City of Greeley
Department of Community Development
Planning Services Division
Attn: Mike Garrott, Planning Manager
1100 10th Street -2nd Floor
Greeley, CO 80631

Re: **Stoneybrook Lot 4 Manufactured Home Community Preliminary PUD**

Project Narrative:

Stoneybrook 234, LLC is submitting this Preliminary Planned Unit Development (PUD) application for Lot 4, Block 1 of the Stoneybrook Filing No. 1 subdivision. This 20.657 acre parcel of land is located in the City of Greeley and the applicant proposes to rezone the property from R-H to a PUD in order to provide an affordable housing alternative in response to the residential market demands of the greater Greeley community. Lot 4, Block 1, of Stoneybrook Subdivision Filing No. 1 is situated in the Northeast Quarter of Section 2, Township 5 North, Range 66 West of the 6th P.M., City of Greeley, County of Weld, State of Colorado.

The applicant proposes to develop a manufactured home community on the subject property. The existing Stoneybrook manufactured home community lies west and is directly adjacent to the property. Friendly Village, another existing manufactured home community is to the east, just across North 35th Avenue. Greeley #3 Ditch lies to the south and will be the location of the City's future Broadview Acres regional multi-modal trail. The northern edge of the subject property is bounded by C Street. C Street is a private street which currently provides access to the existing Stoneybrook community. Just north of C Street lies a City of Greeley detention pond as well as undeveloped land.

The applicant is proposing to develop 142 manufactured home sites, leasing land as required for each of the 142 manufactured home sites. Manufactured homes sites are in high demand in the greater Greeley area and the proposed development will assist the City of Greeley in meeting the demand for this important affordable housing option. The subject property and its envisioned design blends well with the existing contextual built environment and fit the character of proximal neighborhoods and their associated land uses. Home sites have been designed to maximize their flexibility in accommodating the varying dimensions and architectural elevations of manufactured homes. Flexibility will allow residents multiple floor plan options and architectural styles to accommodate their specific needs. Flexibility also allows the development to accommodate the needs of multiple income levels, household sizes, and building types. The properties direct proximity to the Broadview Acres Regional Trail provides residents access to recreational opportunities and provides bike and pedestrian connections to schools, employment, and other services. Close proximity of the trail will provide enhanced mobility options for residents. On the east side of the project, a connection will be provided to GET's Route 3 bus stop located along North 35th Avenue. Access to the transit amenity and will be important for community residents as it provides convenient connections to the Rodarte Transfer Center, large employers, the Greeley Mall Transit Center, and transfers to GET's Route 1. At the southwest corner of the property a new pedestrian / trail connection will be provided to access the planned Broadview Acres Trail and at the southeastern corner of the property an additional trail connection will be provided to access the Broadview Acres Trail.

The subject property falls in elevation from the south to the north east (*from the Greeley Ditch #3 towards the intersection of C Street and North 35th Avenue*). Mature existing trees line the properties frontage along North 35th Avenue. Many of these trees are non-native species that will be removed during construction and replaced with climate-appropriate species. A large number of mature, specimen quality trees have been removed by the City of Greeley and have been relocated to City of Greeley owned facilities. Large cottonwood trees also exist along the Greeley Ditch. A few of these trees are in poor health and will need to be removed during construction. The reminder of the site is relatively free of mature vegetation and is covered by native / non-native grasses. The southern street frontage, immediately adjacent to C Street was improved as part of the development of the original Stoneybrook community. In this area grass turf, streetlights, and a small attached sidewalk exists. Many of these elements will be replaced as part of this development.

The proposed design of the subject property will match historic storm water flows by conveying water to the north east corner of the development (south west corner of North 35th Avenue and C Street) where an extended detention basin will be constructed and will provide storage for water quality capture volume, excess urban runoff volume and detention volume for the 100-year storm event. The pond will outlet to the existing 60" x 84" reinforced concrete box culvert located on the east side of North 35th Avenue. Vehicular access to the site will avoid impacting North 35th Avenue by providing access at two locations along C Street where the existing median breaks. Community monument signs will be placed at each of these intersections. A community map for emergency service providers and visiting guests will be also located at both entrances to the community along C Street.

A large community park for neighborhood residents including a playground, tables and grills, a picnic shelter, extensive landscaping, grass turf, and additional soft scape is proposed just west of the main entrance. The park will be oriented to provide views of the water feature north of C Street and will serve as the community's front door for residents and visitors alike. A long linear space will move from west to east along the south side of C Street, terminating at the new community park. This linear space will create a visually attractive buffer that serves pedestrians and cyclists with a multi-modal path that connects to the existing sidewalk of the neighboring Stoneybrook community as well as North 35th Avenue. A community pocket park will also be located interior to the site and will include gathering sites and horseshoe pits. Two smaller pocket parks are located at the south west and south east corners of the property and will provide pedestrian and bicycle access to the forthcoming Broadview Acres Regional Trail. The pocket park located at the south east corner of the property will provide a bike maintenance station as well as a small play park for children. A well landscaped arterial / collector buffer will also run the length of the property's east side along North 35th Avenue. The current design for this buffer takes into account the City of Greeley's future expansion of North 35th Avenue. A 15-foot strip of land along the eastern edge of the property is proposed to be dedicated to the City of Greeley for its associated ROW needs for future 35th Avenue roadway expansion.

The potable water distribution system and sanitary sewer collection system will be designed and constructed in accordance with City of Greeley standards and will be provided by Greeley Water and Sewer. Electrical service will be provided by Xcel Energy and Natural Gas Services will be provided by Atmos Energy. Telephone and telecommunication services will be provided by CenturyLink and Comcast. All necessary utilities required to serve the subject property currently exist along the property frontage. If you have any questions regarding the proposed plan, please feel free to call me at 720-225-4656.

Sincerely,

David Evans and Associates, Inc.

Matthew J. Buster, P.E.

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

GENERAL NOTES

1. ALL REFERENCES TO CITY OF GREELEY DEVELOPMENT CODE SHALL REFERENCE THE CODE DATED AUGUST 22, 2019.
2. STREET MAINTENANCE: IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND THE PRIVATE ROADWAY STANDARDS SHOWN HEREIN. THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE HOA ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE.
3. DRIVES, PARKING AREAS AND UTILITY EASEMENT MAINTENANCE: THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE HOMEOWNERS' ASSOCIATION OR ENTITY OTHER THAN THE CITY ARE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS AND EASEMENTS (CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
4. SIDEWALKS: ALL PROPOSED SIDEWALKS CONTAINED HEREIN SHALL BE ACCESSIBLE TO THE PUBLIC.
5. DRAINAGE MAINTENANCE: THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE DEVELOPMENT AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASIN. THE CITY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED. THE CITY SHALL NOTIFY THE PROPERTY OWNER IN WRITING AND SHALL INFORM THE OWNER THAT CORRECTIVE ACTION BY THE OWNER SHALL BE REQUIRED WITHIN TEN (10) WORKING DAYS OF RECEIPT OF NOTIFICATION FROM THE CITY, UNLESS AN EMERGENCY EXISTS, IN WHICH CASE CORRECTIVE ACTION SHALL BE TAKEN IMMEDIATELY UPON RECEIPT OF NOTIFICATION BY THE CITY. IF THE OWNER FAILS TO TAKE CORRECTIVE ACTION WITHIN TEN (10) WORKING DAYS, THE CITY MAY PROVIDE THE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.
6. DRAINAGE LIABILITY: THE CITY DOES NOT ASSUME ANY LIABILITY FOR DRAINAGE FACILITIES IMPROPERLY DESIGNED OR CONSTRUCTED. THE CITY REVIEWS DRAINAGE PLANS BUT CANNOT, ON BEHALF OF ANY APPLICANT, OWNER OR DEVELOPER, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW AND APPROVAL BY THE CITY WILL RELIEVE SAID APPLICANT, OWNER, OR DEVELOPER, THEIR SUCCESSORS AND ASSIGNS, FROM LIABILITY DUE TO IMPROPER DESIGN. CITY APPROVAL OF THIS PUD DOES NOT IMPLY APPROVAL OF THE DRAINAGE DESIGN WITHIN THE PUD.
7. LANDSCAPE MAINTENANCE: THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR ENTITY OTHER THAN THE CITY ARE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER LANDSCAPING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
8. SIGHT DISTANCE: THE CLEAR VISION ZONE OF A CORNER LOT, AS DETERMINED BY SECTION 18.44.090(B)(1) OF THE DEVELOPMENT CODE, SHALL BE FREE FROM SHRUBS, GROUND COVERS, BERMS, FENCES, SIGNS, STRUCTURES, PARKED VEHICLES OR OTHER MATERIALS OR ITEMS GREATER THAT THIRTY-SIX (36) INCHES IN HEIGHT FROM THE STREET LEVEL.
9. PUBLIC SAFETY: ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT ALL PRIVATE ACCESS WAYS IN THIS PROPERTY ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
10. DRAINAGE MASTER PLAN: THE POLICY OF THE CITY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:
    - DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE FINAL DRAINAGE REPORT, FINAL DRAINAGE PLAN AND THE STORM WATER MANAGEMENT PLAN.
    - DESIGN AND CONSTRUCT THE CONNECTION OF THE LOCAL DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY, SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGE WAY. THE CITY WILL REQUIRE THAT THE CONNECTION TO THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE PROPERTY.
11. STREET LIGHTING: ALL HOMESITES WITHIN THIS PUD ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PROPERTY, TOGETHER WITH RATES, RULES AND REGULATIONS THEREIN PROVIDED AND ARE SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNERS OR THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY, AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING WITHIN THE PROPERTY IN ACCORDANCE TO APPLICABLE RATES, RULES AND REGULATIONS, ON FILE WITH THE PUBLIC UTILITIES COMMISSION INCLUDING FUTURE AMENDMENTS AND CHANGES THERETO.
12. WATER OR SEWER MAIN EASEMENTS: THERE SHALL BE NO PERMANENT STRUCTURES, FENCES, LANDSCAPING (PLANTING OR BERMS) GREATER THAN THREE (3) FEET TALL MATURE GROWTH, DETENTION PONDS, OR OTHER ENCUMBRANCES LOCATED IN CITY OF GREELEY WATER OR SEWER MAIN EASEMENTS.
13. WATER OR SEWER MAINS IN PRIVATE ROADS OR EASEMENTS: THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE REPAIR OF PAVEMENT, PAVING OR OTHER IMPROVED SURFACES DAMAGED DURING THE REPAIR OF PUBLIC WATER OR SEWER MAINS LOCATED IN PRIVATE ROADS OR EASEMENTS, THE CITY OF GREELEY WATER AND SEWER DEPARTMENT WILL SAFELY BACKFILL THE TRENCH TO THE SURFACE, BUT WILL NOT REBUILD ANY SURFACE IMPROVEMENTS.

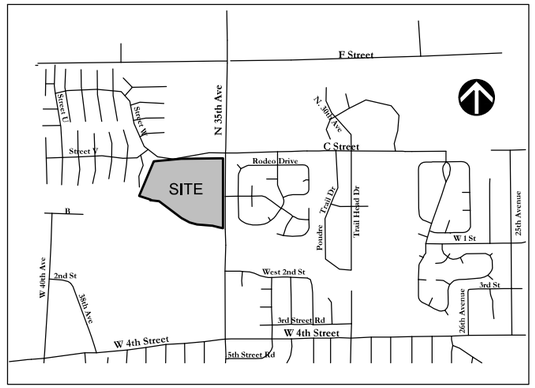
RAW WATER DEDICATION

GROSS LAND AREA OF LOT 4 = 20.662 ACRES
AREA TO BE DEDICATED TO CITY OF GREELEY AS PUBLIC RIGHT-OF-WAY = 0.381 ACRES
GROSS AREA OF LOT 4 AFTER RIGHT-OF-WAY DEDICATION = 20.281 ACRES
NECESSARY RAW WATER DEDICATION = 20.281 ACRES x 3 ACRE-FEET PER ACRE = 60.84 ACRE-FEET

TWO -THIRDS (2/3) OF THE TOTAL RAW WATER DEDICATION (40.56 ACRE-FEET) WILL BE PROVIDED BY TRANSFER OF EXISTING GREELEY IRRIGATION COMPANY WATER SHARES HELD BY OWNER. ONE SHARE OF GREELEY IRRIGATION COMPANY WATER, BY DECREE, YEILDS 10.31 ACRE-FEET. SHARES OF GREELEY IRRIGATION COMPANY WATER TO BE TRANSFERRED FROM OWNER TO CITY OF GREELEY = 40.56 ACRE-FEET / 10.31 = 3.93 SHARES = 4 SHARES.

ONE-THIRD (1/3) OF THE TOTAL RAW WATER DEDICATION (20.28 ACRE-FEET) WILL BE SATISFIED BY FEE-IN-LIEU PAYMENT AT THE TIME OF OBTAINING A BUILDING PERMIT FOR EACH OF THE 142 UNITS WITHIN THE PROPOSED COMMUNITY AT THE CITY'S PREVAILING FEE-IN-LIEU RATE. FEE-IN-LIEU PAYMENTS PER UNT (BASED UPON THE CITY OF GREELEY'S CURRENT FEE-IN-LIEU OF DEDICATION RATE OF $34,000 / ACRE-FOOT) TO BE PAID AT TIME OF BUILDING PERMIT EQUATES TO:

20.28 ACRE-FEET x $34,000/ACRE-FOOT = $689,520 / 142 UNITS = $4,855.77 PER UNIT.



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	MASTER PLAN
3	DESIGN GUIDLINES - NOTES
4	DESIGN GUIDELINES - STANDARDS
5	DESIGN GUIDLINES - ROADWAY DESIGN
6	OVERALL SITE PLAN
7	PRELIMINARY SITE PLAN 01
8	PRELIMINARY SITE PLAN 02
9	PRELIMINARY OVERALL UTILITY PLAN
10	PRELIMINARY UTILITY PLAN 01
11	PRELIMINARY UTILITY PLAN 02
12	PRELIMINARY DRAINAGE & GRADING PLAN
13	PRELIMINARY LANDSCAPE PLAN
14	PRELIMINARY LANDSCAPE AMENITY DETAILS 01
15	PRELIMINARY LANDSCAPE AMENITY DETAILS 02
16	PRELIMINARY SITE & LANDSCAPE DETAILS 01
17	PRELIMINARY SITE & LANDSCAPE DETAILS 02
18	CONCEPTUAL ARCHITECTUAL ELEVATIONS
19	ECOLOGICAL ASSESMENT

LEGAL DESCRIPTION

LOT 4, BLOCK 1, STONEYBROOK SUBDIVISION FILING NO. 1, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO AS RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER AT RECEPTION NUMBER 2710177 DATED JULY 7, 1999.

SAID DESCRIBED PARCEL CONTAINS 20.662 ACRES, MORE OR LESS (±).

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

CONSIDERING THE EAST LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, T.6N., R.66W., TO BEAR SOUTH 00°09'11" WEST AND MONUMENTED AS SHOWN ON THE STONEYBROOK SUBDIVISION FILING NO. 1 PLAT, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 1337.23 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

TITLE COMMITMENT NOTES

TITLE COMMITMENT NUMBER ABD25158080-4, DATED SEPTEMBER 6, 2018 AT 5:00 P.M., AS PREPARED BY LAND TITLE GUARANTEE COMPANY WAS RELIED UPON FOR THE DEPICTION OF EXISTING EASEMENTS AND PROPERTY ENCUMBRANCES AS SHOWN HEREON.

P.U.D. JUSTIFICATION

THE STONEYBROOK LOT 4 PLANNED UNIT DEVELOPMENT (PUD) HAS BEEN DEVELOPED AND DESIGNED TO CREATE A NEW MANUFACTURED HOME COMMUNITY WITHIN THE CITY OF GREELEY THAT IS INVITING, VIABLE, AFFORDABLE, ATTAINABLE, AND FLEXIBLE. THIS PUD IS IN HARMONY WITH EXISTING NEIGHBORING MANUFACTURED HOME COMMUNITIES TO THE EAST AND WEST. THE PUD ALLOWS FOR CREATIVE AND INNOVATIVE DESIGN SOLUTIONS THAT WILL RESULT IN A VIBRANT, DIVERSE, AND ATTAINABLE NEIGHBORHOOD FOR CURRENT AND FUTURE CITY OF GREELEY RESIDENTS.

THIS PUD INCLUDES A PLANNING AREA COMPOSED OF MANUFACTURED HOME SITES AND THEIR ASSOCIATED PARKING, DECKS, PATIOS, LAWNS, AND LANDSCAPING. HOMESITES AND USEABLE OPEN SPACE AREAS ARE PROPOSED WITH THIS PUD. USEABLE OPEN SPACE WILL INCLUDE A FULLY-PROGRAMMED COMMUNITY PARK, A COMMUNITY POCKET PARK, AND ENHANCED CONNECTIONS TO THE ADJACENT REGIONAL TRAIL SYSTEM. PROPOSED MANUFACTURED HOMESITES HAVE BEEN DESIGNED TO MAXIMIZE THEIR FLEXIBILITY, RESULTING IN THE DEVELOPMENT'S ABILITY TO ACCOMMODATE DIVERSE MANUFACTURED HOME CONFIGURATIONS, DIMENSIONS, AND ARCHITECTURAL ELEVATIONS. FLEXIBLE BUT WELL REGULATED HOUSING TYPES AND FORMS WILL CREATE A VISUALLY INTRIGUING NEIGHBORHOOD BOTH INTERNAL AND EXTERNAL TO THE PROPERTY. THE PLACEMENT OF MANUFACTURED HOMES ON LEASED-LAND AREAS WILL BE PURPOSEFUL AND WELL REGULATED PER THE PUD'S DESIGN STANDARDS. THE PUD STANDARDS HAVE BEEN DESIGNED TO PROVIDE FRONT, REAR AND SIDE YARD SETBACKS THAT WILL CREATE AMPLE GREEN SPACE AROUND STRUCTURES AND AREAS FOR ACCESSORY DECKS, PATIOS, AND LANDSCAPING. TWO OFF-STREET PARKING SPACES IN EITHER TANDEM OR SIDE-BY-SIDE CONFIGURATIONS WILL BE PROVIDED FOR EACH HOMESITE. PUD STANDARDS WILL BE APPLICABLE TO ALL HOMESITES, ENSURING A WELL-ORGANIZED, PURPOSEFUL, AND VISUALLY PLEASING COMMUNITY.

THE DEVELOPMENT WILL BE CONNECTED TO GREELEY'S FUTURE PLANNED BROADVIEW ACRES TRAIL LOCATED ALONG THE SOUTHERN BOUNDARY OF THE SITE. THIS REGIONAL MULTI-MODAL TRAIL AND GREENWAY WILL PROVIDE BICYCLE AND PEDESTRIAN ACCESS TO A RANGE OF RECREATIONAL OPPORTUNITIES AS WELL AS ACCESS TO SCHOOLS, EMPLOYMENT, AND OTHER SERVICES. THE DEVELOPMENT WILL PROVIDE TWO ACCESS POINTS TO THE TRAIL, ONE AT THE SOUTHWEST CORNER OF THE PROPERTY AND ONE AT THE SOUTHEAST CORNER OF THE PROPERTY. TRAIL CONNECTIONS WILL BE LINKED TO THE DEVELOPMENT'S INTERIOR SIDEWALK NETWORK TO PROVIDE SEAMLESS CONNECTIONS. THE INTERIOR PEDESTRIAN NETWORK WILL PROVIDE SIDEWALKS ALONG BOTH SIDES OF ALL STREETS, CONTRIBUTING TO A COMPLETE SYSTEM OF CONNECTIVITY THAT MEETS THE NEEDS OF NEIGHBORHOOD RESIDENTS. ALL VEHICULAR ACCESS TO THE PROPERTY WILL BE PROVIDED BY TWO DIRECT CONNECTIONS TO EXISTING C STREET. PROPOSED STREETS WITHIN THE COMMUNITY WILL BE PRIVATELY OWNED AND MAINTAINED.

THE PEDESTRIAN SYSTEM WILL PROVIDE ACCESS TO A NUMBER OF INTERNAL GREENSPACES. A COMMUNITY PARK IS LOCATED AT THE INTERSECTION OF C STREET AND THE EASTERN ACCESS. THE COMMUNITY PARK WILL INCLUDE A WAYFINDING/COMMUNITY SIGN, PLANTING BEDS, DIVERSE TREE SPECIES, A SHELTER, A PLAYGROUND, AND GRASS LAWNS. THE PLAN INCORPORATES LANDSCAPE BUFFER STANDARDS INTENDED TO ELEVATE THE INTERNAL AND EXTERNAL VISUAL AESTHETIC OF THE COMMUNITY. THESE BUFFERS ARE ADJACENT TO NORTH 35TH AVENUE AND THE BROADVIEW ACRES TRAIL. THE BUFFER ALONG NORTH 35TH AVENUE STREET FRONTAGE WILL INCORPORATE ADDITIONAL TREE PLANTINGS, AND TURF WITHIN AN ENHANCED GREENWAY TO BUFFER THE COMMUNITY FROM THE PROPOSED EXPANSION OF NORTH 35TH AVENUE. IN ADDITION TO THIS BUFFER AN ADDITIONAL 15' WIDE LAND AREA HAS BEEN RESERVED AND IS PROPOSED TO BE DEDICATED TO THE CITY OF GREELEY FOR ADDITIONAL RIGHT-OF-WAY REQUIRED FOR THE FUTURE EXPANSION OF NORTH 35TH AVENUE. LANDSCAPING WILL BE PLACED WITHIN BUFFER AREA 3 ADJACENT TO THE GREELEY IRRIGATION COMPANY NO. 3 CANAL PROPERTY AND THE BROADVIEW ACRES TRAIL IN ACCORDANCE WITH CITY OF GREELEY STANDARDS.

THE ABOVE COMBINED PUD ELEMENTS WILL WORK IN CONCERT TO CREATE AN ATTAINABLE, ACCESSIBLE, AND MARKET RESPONSIVE RESIDENTIAL COMMUNITY. STONEYBROOK LOT 4 WILL PROVIDE A WELL-DESIGNED AND ATTAINABLE HOUSING CHOICE THAT IS AN ASSET FOR BOTH THE CITY OF GREELEY AND ADJACENT NEIGHBORHOODS.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN, THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
FIRE MARSHALL — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

PROJECT TEAM

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Engineers • Surveyors • Planners

PRELIMINARY PUD

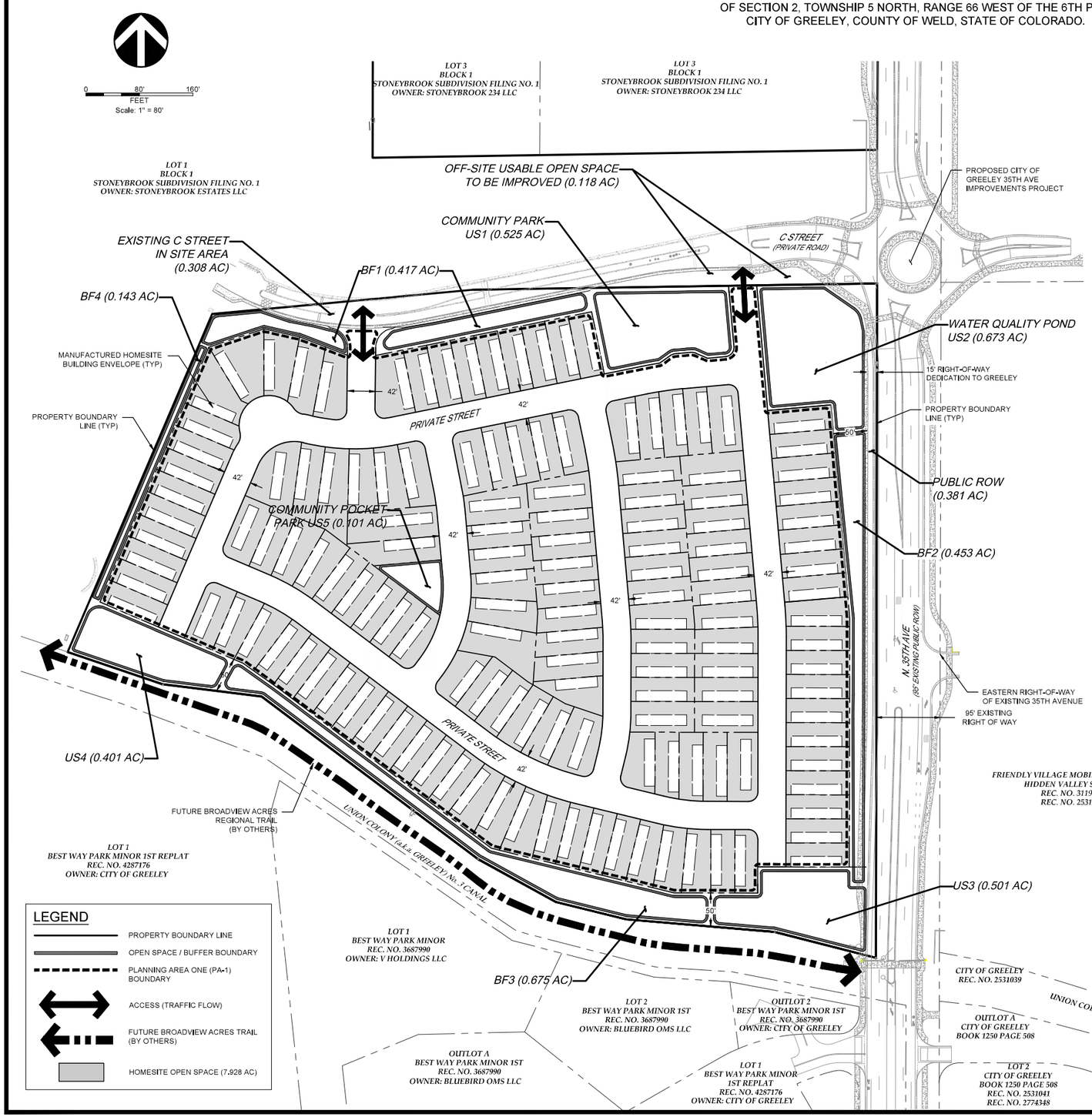
COVER SHEET

SHEET 1
1 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



Development Land Areas and Associated Requirements		
Development Summary	**Area (Acres)**	**Required (Acres)**
Total Site Area	20.662 AC	N/A
Total Roadway Area	3.880 AC	N/A
Building Envelopes Area	3.966 AC	N/A
Land Dedicated to 35th Avenue Widening	0.381 AC	N/A
Existing C Street in Site Area	0.308 AC	N/A
Total Open Space Area (Onsite) Provided	11.817 AC	5.166 AC (25% of Total Site Area)
Open Space Categories	**Provided (acres)**	**Required (Acres)**
On-Home Site Open Space	7.928 AC	N/A
Buffer Areas	1.688 AC	N/A
Usable Open Space Areas (Onsite)	2.201 AC	2.583 AC (50% of Required Total Open Space)
Usable Open Space Areas (Offsite)	0.120 AC	
Total Open Space Area Provided (Onsite & Offsite)	11.937 AC	5.166 AC (25% of Total Site Area)
Usable Open Space per Amenities Credit (12.5 amenities x 921 SF each)= 11,512.5 SF	0.264 AC	N/A

Home-Site Open Space	
Total Home Site Open Space	**7.928 AC**

Buffer Areas	
Buffer Areas	**Area (Acres)**
Buffer Area 1	0.417 AC
Buffer Area 2	0.453 AC
Buffer Area 3	0.675 AC
Buffer Area 4	0.143 AC
Total Buffer Open space	**1.688 AC**

Usable Open Space	
Usable Open Space 1 (US1)	0.525 AC
Usable Open Space 2 (US2)	0.673 AC
Usable Open Space 3 (US3)	0.501 AC
Usable Open Space 4 (US4)	0.401 AC
Usable Open Space 5 (US5)	0.101 AC
Usable Open Space Areas (Onsite)	**2.201 AC**
Useable Open Space Areas (Offsite)	**0.120 AC**
Usable Open Space (Without Amenities Credit)	**2.321 AC**

Amenity Location	Amenities	Credit	Amenity Credit (921 SF/Amenity)
Usable Open Space 1 (US1)	• Playground • Shelter • Grills & Table	3	.063 AC (2763 SF)
Usable Open Space 2 (US2)	• Small-sided soccer field with permanent goals	1	.021 AC (921 SF)
Usable Open Space 3 (US3)	• Bicycle Maintenence Station • Table & Small Playground • Trail connection to Broadacres Trail	2.25	.048 AC (2072.25 SF)
Usable Open Space 4 (US4)	• Trail connection to Broadview Trail	0.25	.005 AC (230.25 SF)
Usable Open Space 5 (US5)	• Council seating • Horseshoe pits	2	.042 AC (1842 SF)
Existing Recreation Center & Pool	• Rec Center • Pool	4	.084 AC (3,684 SF)
Total Amenities Credit Provided		**12.5**	**0.264 AC (11,512.5 SF)**

Usable Open Space Summary	
Required Usable Open Space (50% of Total Required Open Space)	**2.583 AC**
Subtotal of Usable Open Space (On-site)	2.201 AC
Subtotal of Usable Open Space (Off-site)	0.120 AC
Total Amenities Credit Provided	0.264 AC
Provided Usable Open Space (With Amenities Credit)	**2.585 AC**

- TOTAL OPEN SPACE IS THE SUM OF ON HOME SITE OPEN SPACE, BUFFER AREAS, AND USEABLE OPEN SPACE.
- BUFFER AREAS ARE INCLUDED WITHIN THE OPEN SPACE AREAS SHOWN.
- HOMESITE OPEN SPACE IS DEFINED AS THE OPEN SPACE AREA LOCATED ON INDIVIDUAL MANUFACTURED HOMESITES, I.E. LEASED SITES, FOR THE ENJOYMENT OF RESIDENTS.
- BOTH BUFFER AREAS AND USEABLE OPEN SPACE AREAS ARE GOVERNED BY CITY OF GREELEY BUFFER LANDSCAPING STANDARDS. SEE SHEET 13 FOR THE IDENTIFICATION OF SPECIFIC STANDARDS AND THEIR APPLICATION.
- FURTHER OPEN SPACE DETAILS MAY BE FOUND ON SHEET 13.
- SEE "USEABLE OPEN SPACE" DEFINITIONS AND DEVIATIONS ON SHEET 3.
- SEE "AMENITIES" DEFINITIONS AND DEVIATIONS ON SHEET 3.
- SEE BUFFER AREA DEFINITIONS AND DEVIATIONS ON SHEET 3 .
- AMENITY LOCATIONS ARE DETAILED ON SHEETS 13, 14 AND 15.

LAND USE:

A. PLANNING AREA ONE: LAND USE IN PLANNING AREA ONE (PA-1, AS DEPICTED ON THIS SHEET) SHALL CONSIST OF SINGLE-FAMILY MANUFACTURED HOMES, ACCESSORY STRUCTURES, AND RELATED APPURTENANCES. SEE SHEET 4 FOR DEVIATIONS FROM THE CITY OF GREELEY MUNICIPAL CODE AS DESCRIBED WITHIN THIS PUD.

B. USEABLE OPEN SPACE: ALLOWED USES WITHIN USEABLE OPEN SPACE INCLUDE COMMUNITY AMENITIES INCLUDING BUT NOT LIMITED TO, PARKS, SHELTERS AND SHADE STRUCTURES, BENCHES, GRILLS AND TABLES, SPORTS FACILITIES, EXERCISE EQUIPMENT, BIKE REPAIR FACILITIES, COMMUNITY GARDENS, LANDSCAPE, PLAY FIELDS, PLAY STRUCTURES, SIDEWALKS AND TRAILS, MONUMENTATION AND SIGNAGE, DRAINAGE AND DETENTION FACILITIES AND ANY RELATED APPURTENANCES ASSOCIATED WITH THESE USES.

NOTE:

1. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

MASTER PLAN

SHEET 2
2 OF 19

DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

DEVELOPMENT STANDARD DEVIATIONS:

THIS PUD WILL FOLLOW THE STANDARD ZONING REQUIREMENTS OF CITY OF GREELEY MUNICIPAL CODE, TITLE 18 DEVELOPMENT CODE, EXCEPT AS SHOWN IN THE DEVIATIONS AND DETAILS SHOWN BELOW.

CHAPTER 32, PLANNED UNIT DEVELOPMENT STANDARDS (PUD) .050 USES PERMITTED, DWELLING UNITS PER ACRE	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION D - GROSS DENSITY	THIS PUD SHALL NOT EXCEED AN AVERAGE GROSS DENSITY OF SEVEN, AND ONE-HALF (7.5) DWELLING UNITS PER ACRE. (SEE DETAILS ON SHEETS 7 & 8)

CHAPTER 38, ZONING DISTRICT DEVELOPMENT STANDARDS 050 R-MH RESIDENTIAL MOBILE HOME DISTRICT	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION C - STREET WIDTH	28' PAVEMENT, 42' ROADWAY CORRIDOR (SEE DETAILS ON SHEETS 4 & 5)
SECTION D - OPEN SPACE	25% OF THE DEVELOPMENT SHALL BE PRESERVED AS OPEN SPACE WITHIN THREE CATEGORIES: ON-HOMESITE OPEN SPACE (OPEN SPACE ON LEASED HOMESITES), USABLE OPEN SPACE (PARKS AND RECREATIONAL AREAS), AND PERIMETER BUFFERS. 100% OF LANDSCAPED DRAINAGE FACILITIES SHALL COUNT TOWARDS THE OVERALL OPEN SPACE REQUIREMENT (SEE SHEETS 2 & 13)
SECTION I - SETBACKS	NO MANUFACTURED HOME SHALL BE LOCATED CLOSER THAN FIFTEEN (15) FEET FROM PUD BOUNDARY. SIDE SETBACK: ZERO (0) FEET SIDE HOMESITE LINE SETBACK IS PERMITTED, HOWEVER, AT LEAST TWENTY (20) FEET BETWEEN MANUFACTURED HOMES IS REQUIRED. FRONT SETBACK: SEVEN AND ONE-HALF (7.5) FEET MINIMUM BETWEEN THE FRONT OF MANUFACTURED HOMES & BACK OF SIDEWALK, (SEE DETAIL SHEET 4) REAR SETBACK: TEN (10) FEET MINIMUM BETWEEN THE REAR OF MANUFACTURED HOME & REAR HOMESITE LINE.

CHAPTER 38, ZONING & LAND USE STANDARDS 020 USEABLE OPEN SPACE SQUARE FOOTAGE AMENITIES	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION I - AREA USAGE	USEABLE OPEN SPACE WITHIN THE COMMUNITY MUST BE UNOBSTRUCTED TO THE SKY WITH THE EXCEPTION OF SHELTERS AND SHADE STRUCTURES, AND SHALL BE A MINIMUM AREA OF FOUR THOUSAND (4,000) SQUARE FEET, EXCLUDING SETBACKS ADJACENT TO ROADWAY CORRIDOR. DESIGNATED COMMUNITY USABLE OPEN SPACE AREAS ARE REQUIRED TO CONTAIN AT LEAST ONE (1) RECREATIONAL AMENITY DESIGNED FOR THE BENEFIT OF THE COMMUNITY, (SEE SHEETS 14 AND 15 FOR DETAILS).

CHAPTER 46, DESIGN REVIEW PERFORMANCE STANDARDS .150	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION C, #3 - DECKS/PATIOS/CAR PORTS	EACH MANUFACTURED HOME MAY HAVE OUTDOOR SPACE INCLUDING PATIOS, DECKS, CARPORTS, PORCHES AND ASSOCIATED AWNINGS. PATIOS, DECKS, CARPORTS, PORCHES AND AWNINGS MUST MEET APPLICABLE CITY OF GREELEY BUILDING CODE(S). THESE ELEMENTS MAY BE CONSTRUCTED OF WOOD, COMPOSITE, OR CONCRETE AND SHALL NOT EXCEED OVER TWO-HUNDRED (200) SQUARE FEET IN SIZE. PATIOS AND DECKS MUST BE A MINIMUM OF SIX (6) FEET FROM NEIGHBORING HOME SITE STRUCTURES, TEN (10) FEET FROM THE REAR BOUNDARY OF THE HOME SITE, AND SEVEN AND ONE-HALF (7.5) FEET FROM BACK OF SIDEWALK. PATIOS, DECKS AND PORCHES SHALL BE USED FOR RECREATIONAL PURPOSES ONLY, SHALL NOT BE USED FOR STORAGE OR HUMAN HABITATION AND SHALL REMAIN AT LEAST SIXTY-FIVE PERCENT (65%) OPEN AND UNOBSTRUCTED ON THREE (3) SIDES. FENCES ARE NOT PERMITTED BETWEEN HOMESITES OR ALONG THE PERIMETER OF THE COMMUNITY. (REFER TO SHEET 4 FOR ADDITIONAL DETAILS)
SECTION C, #6 - PAVED DRIVEWAYS	EACH HOMESITE WILL PROVIDE TWO (2) DRIVEWAY PARKING SPACES WITH MINIMUM DIMENSIONS OF NINE (9) FEET WIDE AND TWENTY (20) FEET DEEP PROVIDED IN A TANDEM OR SIDE-BY-SIDE CONFIGURATION. ALL TANDEM DRIVEWAYS SHALL BE A MINIMUM OF FORTY (40) FEET IN LENGTH. NO DRIVEWAY SHALL EXCEED TWENTY-THREE (23) FEET IN WIDTH AT THE INTERSECTION WITH THE STREET, AND NO PARKING IS PERMITTED BETWEEN THE FRONT OF MANUFACTURED HOME AND THE STREET. DRIVEWAYS SHALL COUNT TOWARD REQUIRED PARKING FOR EACH HOMESITE. EACH PARKING SPACE SHALL BE DESIGNED SO THAT VEHICLES DO NOT OVERHANG THE ADJOINING COMMUNITY SIDEWALK. (SEE DETAIL ON SHEET 4)
SECTION C, #8 - USEABLE SPACE	NO LESS THAN TWENTY-FIVE PERCENT (25%) OF THE GROSS AREA OF THE MANUFACTURED HOME COMMUNITY SHALL BE RESERVED FOR AND DEVOTED TO OPEN SPACE WITHIN THREE CATEGORIES: ON-HOMESITE OPEN SPACE (OPEN SPACE ON LEASED HOMESITES), USABLE OPEN SPACE (PARKS AND RECREATIONAL AREAS), AND PERIMETER BUFFERS. OF THE REQUIRED OPEN SPACE AREA, FIFTY PERCENT (50%) SHALL BE USEABLE OPEN SPACE, AS DEFINED BY THIS PUD. ONE HUNDRED PERCENT (100%) OF LANDSCAPED DRAINAGE AND DETENTION FACILITIES SHALL COUNT TOWARD THE OVERALL OPEN SPACE REQUIREMENT (SEE SHEET 2)
SECTION C, #9E - COMMUNITY POCKET PARK/AMENITIES USEABLE SPACE	RECREATIONAL AMENITIES MAY INCLUDE SWIMMING POOLS; CLUBHOUSES, COMMUNITY CENTERS OR BUILDINGS; PLAYGROUNDS WITH PLAY EQUIPMENT; OUTDOOR EXERCISE STATIONS, BIKE REPAIR STATIONS; SHELTERS, GRILL & TABLE AREAS, BENCHES; SPORTS FACILITIES SUCH AS TENNIS, SMALL-SIDE SOCCER FIELDS, VOLLEYBALL OR BASKETBALL; HORSESHOE PITS; AND TRAIL SYSTEMS, NOT OTHERWISE REQUIRED AS A SUBSTITUTE FOR SIDEWALKS; SHALL BE PROVIDED BASED ON THE FOLLOWING SCHEDULE: A. PLAYGROUNDS WITH COMMERCIAL GRADE EQUIPMENT, COMMERCIAL GRADE PICNIC/BARBEQUE AREAS, OR SPORTS FACILITIES (OUTDOOR EXERCISE STATIONS, BIKE REPAIR STATIONS, SMALL-SIDE SOCCER FIELDS, TENNIS, VOLLEYBALL, OR BASKETBALL COURTS AND HORSESHOE PITS) AT LEAST ONE THOUSAND (1,000) SQUARE FEET IN SIZE SHALL EACH COUNT AS ONE (1) RECREATIONAL AMENITY. B. SYSTEM OF PEDESTRIAN TRAILS SHALL COUNT AS ONE-HALF (0.50) RECREATIONAL AMENITY. C. IN-THE-GROUND SWIMMING POOLS AT LEAST TWENTY (20) FEET BY FORTY (40) FEET AND COMMUNITY BUILDINGS AT LEAST TWO THOUSAND (2,000) SQUARE FEET IN SIZE SHALL COUNT AS TWO (2) RECREATIONAL AMENITIES. D. COMMUNITY SEATING AREAS OR COUNCIL RING SEATING AREAS ACCOMPANIED WITH A HORSESHOE PIT OR OTHER LAWN GAME IN COMMON AREAS SHALL COUNT AS TWO (2) RECREATIONAL AMENITIES. (SEE SHEET 13) EACH AMENITY SHALL REPRESENT A NINE HUNDRED AND TWENTY-ONE (921) SQUARE FOOT CREDIT TOWARDS THE COMMUNITIES REQUIRED USEABLE OPEN SPACE AREA.
SECTION D, #1 - STORAGE SPACE	THERE WILL BE NO OFF-HOMESITE STORAGE WITHIN COMMUNITY BUILDINGS OR CENTRAL STORAGE FACILITIES ALLOWED WITHIN THIS PUD.
SECTION D, #3F - GARAGES	NOT ALLOWED WITHIN THE COMMUNITY
SECTION D, #4 - ACCESSORY BUILDINGS & STRUCTURES	ACCESSORY BUILDINGS OR STRUCTURES MAY BE LOCATED WITHIN THE TWENTY (20) FOOT BUILDING SEPARATION AREA AS LONG AS THEY ARE NO CLOSER THAN SIX (6) FEET FROM ANY ADJACENT MANUFACTURED HOME. ACCESSORY BUILDINGS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE REAR OF THE HOMESITE AND NO CLOSER THAN FORTY SEVEN AND ONE-HALF (47.5) FEET FROM THE BACK OF SIDEWALK. ACCESSORY BUILDINGS OR STRUCTURES SHALL BE LIMITED TO A MAXIMUM SIZE OF 120 SQUARE FEET. SECONDARY EXIT STAIRS MAY BE LOCATED ON ADJOINING HOMESITES TO PROVIDE FOR EMERGENCY EGRESS. STAIRS MAY BE NO LARGER THAN FIVE (5) FEET BY FIVE (5) FEET IN SIZE. STAIRS LOCATED ON A ZERO SETBACK MAY EXTEND INTO THE ADJACENT HOME SITE AREA AND SHALL NOT BE USED AS THE PRIMARY ENTRANCE TO THE HOME. (SEE DETAIL ON SHEET 4.)

CHAPTER 44, BUFFER YARD & SCREEN STANDARDS 110	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
TABLE 018.44.110	IN THOSE AREAS WHERE USEABLE OPEN SPACE IS LOCATED WITHIN AREAS OTHERWISE GOVERND BY BUFFER YARD STANDARDS, BUFFER YARD STANDARDS SHALL APPLY. THE SOUTHERN AND NORTHERN PUD BOUNDARIES SHALL ADHERE TO BUFFER YARD A STANDARDS. EXISTING AND MATURE, HEALTHY TREES WITHIN THE AREA SHALL COUNT TOWARD THE DEFINED BUFFER YARD A STANDARDS. THE PORTION OF THE EASTERN PUD BOUNDARY ADJACENT TO NORTH 35TH AVENUE SHALL ADHERE TO ARTERIAL BUFFER STANDARDS. (SEE DETAIL SHEET 13)
TABLE 18.44-10, PLANTING REQUIREMENTS	THE NUMBER OF PLANTINGS REQUIRED ARE SHOWN ON SHEET 13. THE FUTURE LOCATION OF PLANTINGS MAY BE ADJUSTED AS NECESSARY.

CHAPTER 44, BUFFER YARD & SCREEN STANDARDS 130	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION I, PERIMETER TREATMENT	PERIMETER TREATMENT ALONG 35TH AVENUE WILL ADHERE TO THE LANDSCAPING STANDARDS DEFINED IN SECTION 18.44.130 (I), WITH THE EXCEPTION THAT LANDSCAPING ELEMENTS WILL BE LOCATED SO THAT THE FUTURE EXPANSION OF 35TH AVENUE DOES NOT NECESSITATE THE REMOVAL OF PLANTED MATERIALS. STREET TREES PLANTED AS PART OF THE FUTURE ROADWAY EXPANSION WILL BE THE RESPONSIBILITY OF THE CITY OF GREELEY.

DESIGN CRITERIA & CONSTRUCTION SPECIFICATIONS	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION 1.10.B, #2 - LOCAL RESIDENTIAL CURB TYPE	THE CURB AND GUTTER FOR ALL STREETS WITHIN THIS PUD SHALL BE MODIFIED DRIVE OVER CURB & GUTTER WITH A ONE (1) FOOT GUTTER AND ONE (1) FOOT ROLLED CURB, FIVE (5) INCHES IN HEIGHT FROM FLOWLINE TO BACK OF CURB WITH A FIVE (5) FOOT ATTACHED SIDEWALK (SEE DETAIL SHEET 5)
SECTION 1.03, TABLE 1.03.1 ROADWAY CORRIDOR & STREET CROSS SECTIONS, LOCAL RESIDENTIAL	ALL STREETS WITHIN THIS PUD SHALL BE PRIVATE WITH A FORTY-TWO (42) FOOT ROADWAY CORRIDOR AND SHALL INCLUDE A THIRTY (30) FOOT FLOWLINE TO FLOWLINE ROADWAY WIDTH WITH THIRTY (30) FEET WIDE INTERSECTIONS, WITH TWO (2) TRAVEL LANES. EACH TRAVEL LANE BEING NINE (9) FEET IN WIDTH. SIX (6) FOOT PARKING LANES SHALL BE PROVIDED ON EITHER SIDE. (SEE 2' DRIVE OVER CURB & GUTTER (MODIFIED) DETAIL ON SHEET 5)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

DAVID EVANS & ASSOCIATES, INC.
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Engineers • Surveyors • Planners

PRELIMINARY PUD

DESIGN GUIDLINES - NOTES

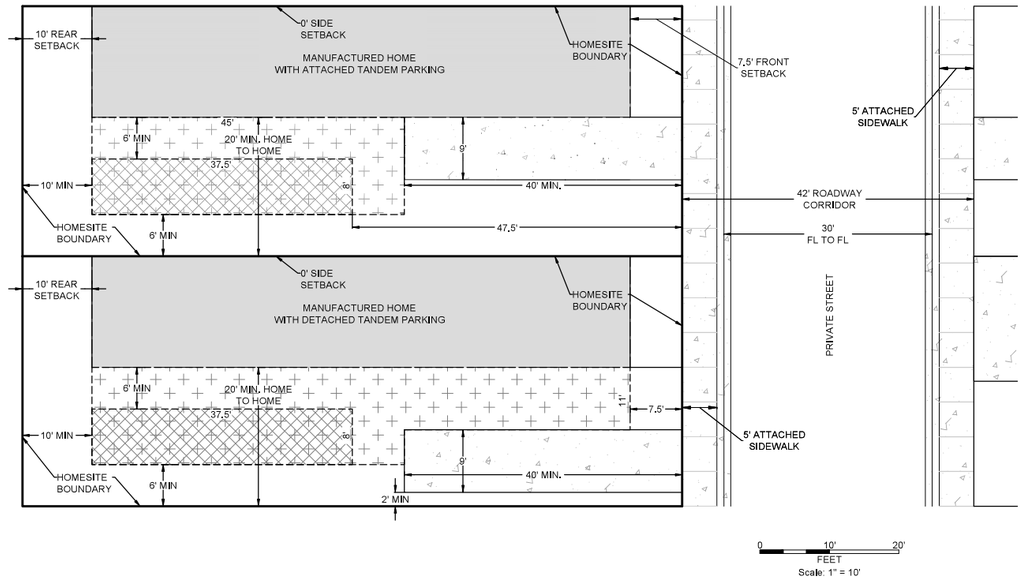
SHEET 3
3 OF 19
DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

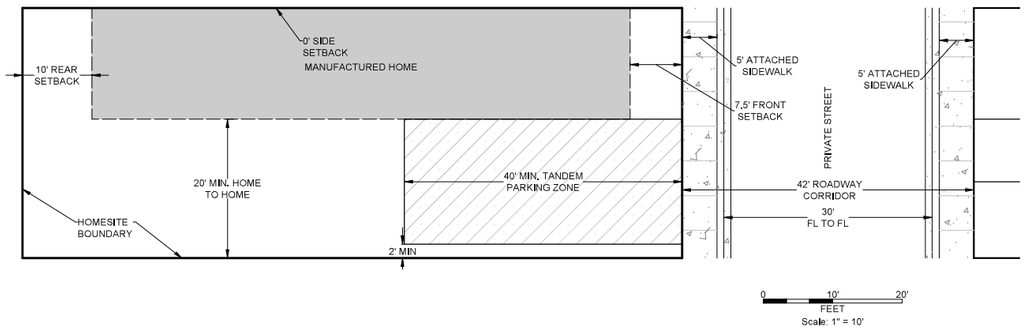
STORAGE & ACCESSORY STRUCTURE REQUIREMENTS (TANDEM PARKING)

SEE SHEET 3 FOR DETAILS



MANUFACTURED HOME SETBACK & PARKING REQUIREMENTS

SEE SHEET 3 FOR DETAILS



PARKING STANDARDS:

1. OFF-STREET PARKING - EACH HOMESITE WILL BE PROVIDED WITH TWO (2) CONCRETE OFF-STREET PARKING SPACES IN A TANDEM OR SIDE-BY SIDE CONFIGURATION. PARKING BETWEEN THE FRONT OF STRUCTURES AND THE ROADWAY CORRIDOR IS NOT PERMITTED. EACH PARKING SPACE SHALL BE A MINIMUM OF NINE (9) FEET WIDE BY TWENTY (20) FEET IN LENGTH AND MAY NOT INFRINGE WITHIN THE ROADWAY CORRIDOR OR BACK OF SIDEWALK, SEE "SITE STANDARDS" ON SHEET 3 FOR ADDITIONAL DETAILS.
2. GUEST PARKING- ON-STREET PARALLEL PARKING IS ACCOMMODATED WITHIN THE ROADWAY CORRIDOR AND SHALL PROVIDE A MINIMUM OF .75 GUEST PARKING SPACES FOR EACH HOMESITE. SEE "PRIVATE STREET DESIGN" ON SHEET 5, "PROPOSED "PRIVATE STREET" DESIGN" FOR ADDITIONAL DETAILS.
3. ADA PARKING- ONE (1) ADA ON-STREET PARKING SPACE WILL BE PROVIDED DIRECTLY ADJACENT TO THE COMMUNITY PARK, SEE SHEET 13 FOR LOCATION.
4. OFF-STREET PARKING SPACES SHALL BE LOCATED A MINIMUM OF TWO (2) FEET FROM HOMESITE BOUNDARY/LEASE AREA LINES. SEE SHEET 3 FOR DEVIATION TO "CHAPTER 46, DESIGN REVIEW PERFORMANCE STANDARDS ,150, SECTION C, #6 - PAVED DRIVEWAYS."
5. TWO CONCRETE PARKING SPACES SHALL BE PROVIDED FOR EACH HOMESITE. EACH INDIVIDUAL PARKING SPACE SHALL MEASURE NINE (9) FEET IN WIDTH BY TWENTY (20) FEET IN LENTH. A MINIMUM CONCRETE PARKING PAD AREA OF 360 SQUARE FEET SHALL BE PROVIDED WITHIN THE DESIGNATED PARKING AREA ON EACH HOMESITE. TANDEM PARKING CONFIGURATIONS ARE PERMITTED ON ALL HOMESITES. IN THE TANDEM PARKING CONFIGURATION, THE CONCRETE PARKING PAD DIMENSIONS FOR TWO TANDEM PARKING SPACES SHALL MEASURE NINE (9) FEET IN WIDTH BY FORTY (40) FEET IN LENGTH.
6. WHERE HOMESITE DIMENSIONS PERMIT AND WHERE TWO (2) FEET OF SEPARATION BETWEEN HOMESITE LINES & CONCRETE PARKING PADS CAN BE ACHIEVED, SIDE-BY-SIDE PARKING CONFIGURATIONS ARE PERMITTED. IN THE SIDE-BY-SIDE CONFIGURATION, THE CONCRETE PARKING PAD DIMENSIONS FOR TWO SIDE-BY-SIDE PARKING SPACES SHALL MEASURE EIGHTEEN (18) FEET IN WIDTH BY TWENTY (20) FEET IN LENGTH.

NOTES

1. MANUFACTURED HOME SHALL BE A MINIMUM OF FIFTEEN (15) FEET FROM PUD BOUNDARY
2. MANUFACTURED HOME SHALL BE A MINIMUM OF TWENTY-FIVE (25) FEET FROM CITY OF GREELEY PUBLIC RIGHT-OF-WAY.
3. ON A CORNER HOMESITE, A MINIMUM SIDE SETBACK OF 10 FEET IS REQUIRED BETWEEN THE MANUFACTURED HOME AND THE ROADWAY CORRIDOR.
4. FENCES ARE NOT PERMITTED BETWEEN HOMESITES.
5. SECONDARY EXIT STAIRS MAY BE LOCATED ON ADJACENT HOMESITES TO ALLOW FOR EMERGENCY EGRESS.
6. SEE SHEET 18 FOR ARCHITECTURAL DETAILS REGARDING PROPOSED MANUFACTURED HOMES.
7. SEE SHEET 3 FOR COMMUNITY SETBACK DEFINITIONS AND DEVIATIONS.
8. SEE SHEET 3 FOR ACCESSORY BUILDING DEFINITIONS AND DEVIATIONS.
9. SEE SHEET 3 FOR SECONDARY STAIR DEFINITIONS AND DEVIATIONS.
10. SEE SHEET 3 FOR DECKS, PATIOS AND STAIR DEFINITIONS AND DEVIATIONS.

LEGEND

- ALLOWABLE ACCESSORY BUILDING LOCATION (120 SF MAX)
- ALLOWABLE AREA FOR DECKS, PATIOS, & PRIMARY ENTRANCE STAIRS (200 SF MAX)
- BUILDING ENVELOPE
- CONCRETE PAVING
- ALLOWABLE PARKING AREA

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

DESIGN GUIDELINES - STANDARDS

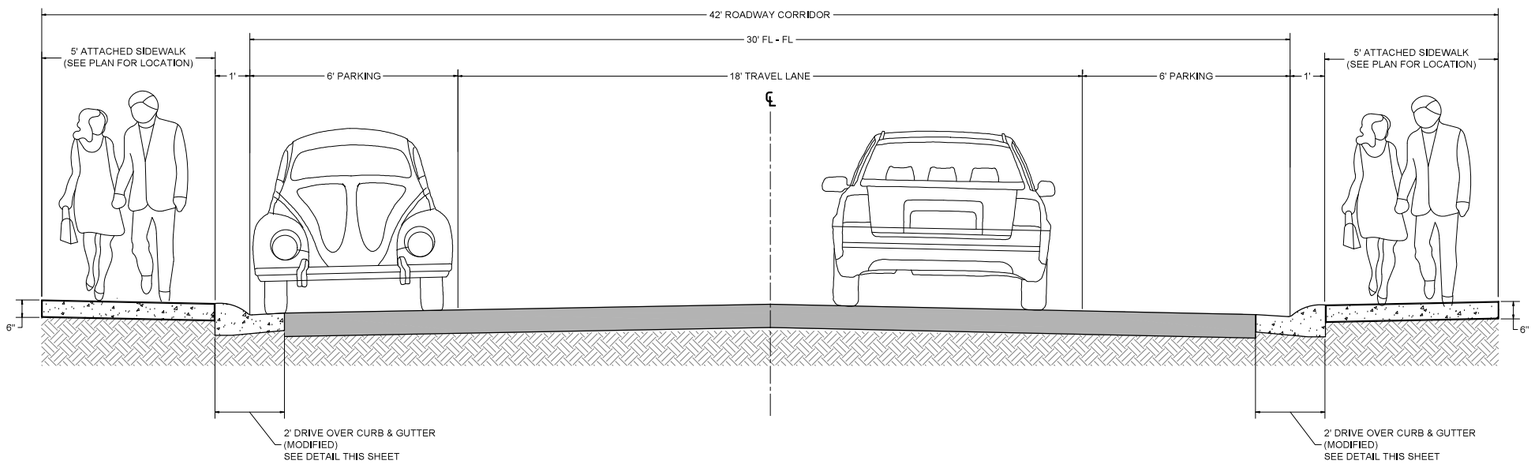
SHEET 4
4 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

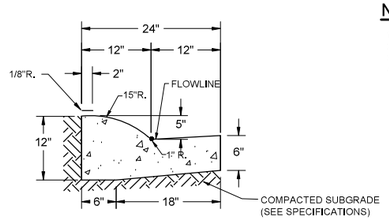
A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

PROPOSED "PRIVATE" STREET DESIGN:



PROPOSED "PRIVATE" STREET

0 2' 4'
FEET
Scale: 1" = 2'



2' DRIVE OVER CURB & GUTTER (MODIFIED)
(NTS)

NOTES

1. SIDEWALK SHALL BE A MINIMUM SIX (6) INCHES THICK AND FIVE (5) FEET WIDE.
2. MAXIMUM SPACING OF CONTRACTION JOINTS SHALL BE EIGHT (8) FEET.
3. EXPANSION JOINTS ARE REQUIRED BETWEEN BACK OF CURB AND SIDEWALK.
4. SIDEWALKS SHALL RECEIVE A LIGHT BROOM FINISH.

PRIVATE STREET STANDARDS:

1. ALL INTERNAL STREETS ARE DESIGNATED AS PRIVATE.
2. PRIVATE STREETS SHALL BE OWNED AND MAINTAINED BY THE OWNER OR HOMEOWNERS ASSOCIATION.
3. THE TOTAL WIDTH OF THE PRIVATE ROADWAY CORRIDOR IS FORTY-TWO (42') FEET (BACK-OF SIDEWALK TO BACK-OF-SIDEWALK).
4. ON-STREET PARKING MEASURING SIX (6) FEET IN WIDTH WILL BE PROVIDED ON BOTH SIDES OF THE STREET, PARALLEL TO THE CURB AND SHALL ACCOMMODATE GUEST PARKING FOR THE MANUFACTURED HOMES.
5. A FIVE (5) FOOT WIDE, ATTACHED PEDESTRIAN SIDEWALK WILL BE PROVIDED ON BOTH SIDES OF ALL PRIVATE STREETS.
6. AN EIGHTEEN (18) FEET BI-DIRECTIONAL TRAVEL WAY WILL BE PROVIDED ON ALL PRIVATE STREETS. THE TRAVEL WAY IS EXCLUSIVE OF THE SIX (6) FEET ON-STREET PARKING PROVIDED ON BOTH SIDES OF THE STREET.
7. TWO (2) FOOT WIDE MODIFIED DRIVE OVER CURB & GUTTER SHALL BE PROVIDED ON BOTH SIDES OF THE PRIVATE STREET. SEE "DRIVE OVER CURB & GUTTER (MODIFIED) DETAIL ON THIS SHEET.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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PRELIMINARY PUD

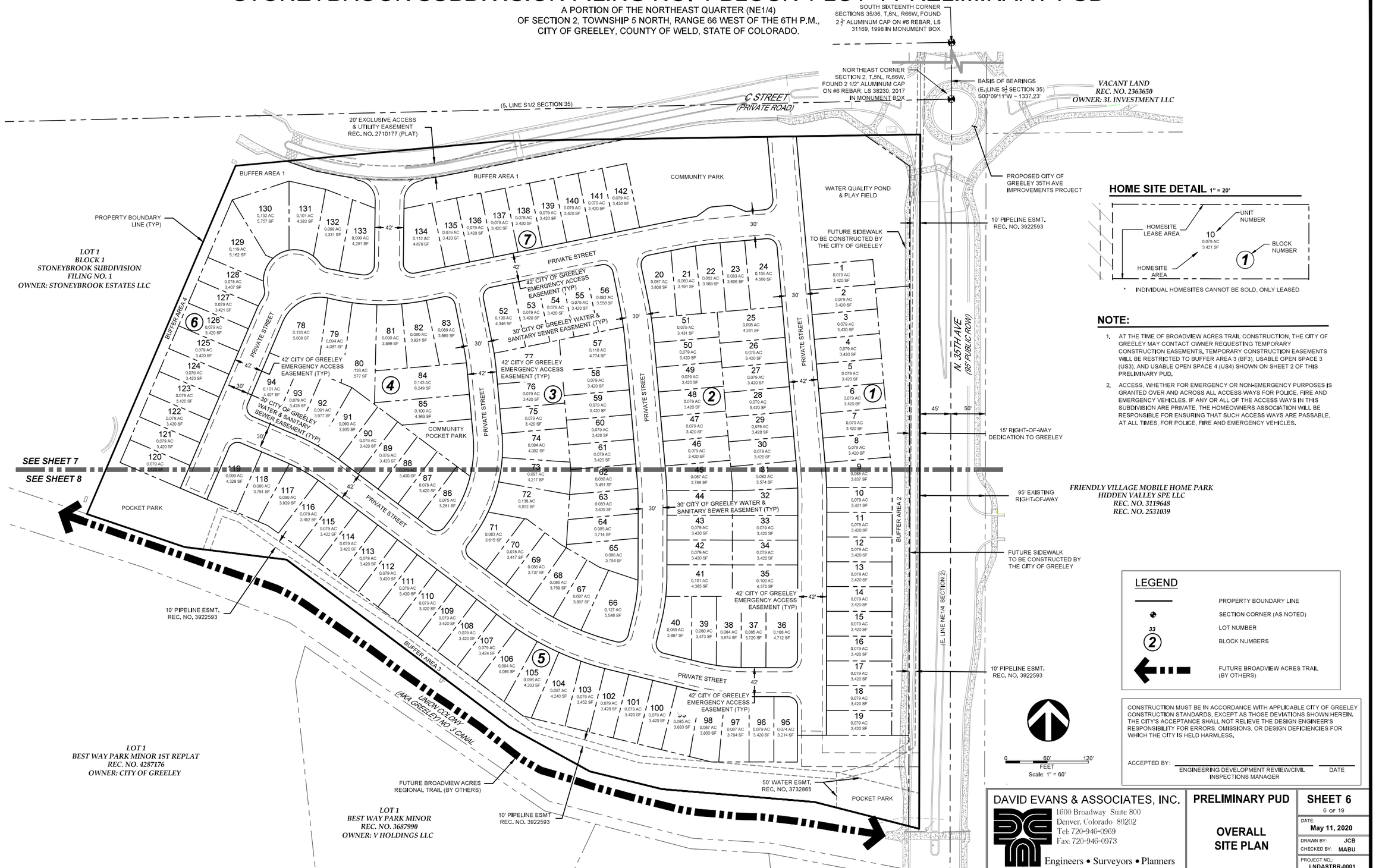
DESIGN GUIDLINES - ROADWAY DESIGN

SHEET 5
5 OF 19

DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



HOME SITE DETAIL 1" = 20'

* INDIVIDUAL HOMESITES CANNOT BE SOLD, ONLY LEASED

NOTE:

1. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD.
2. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

LEGEND

- PROPERTY BOUNDARY LINE
- SECTION CORNER (AS NOTED)
- 33 — LOT NUMBER
- 2 — BLOCK NUMBERS
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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PRELIMINARY PUD

OVERALL SITE PLAN

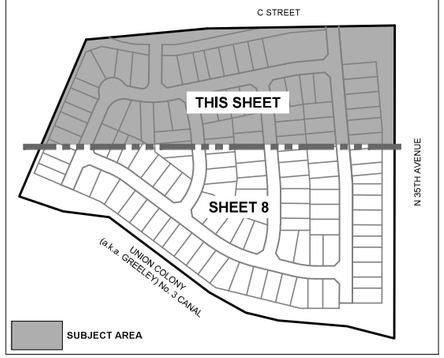
SHEET 6
6 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

KEYMAP
NTS



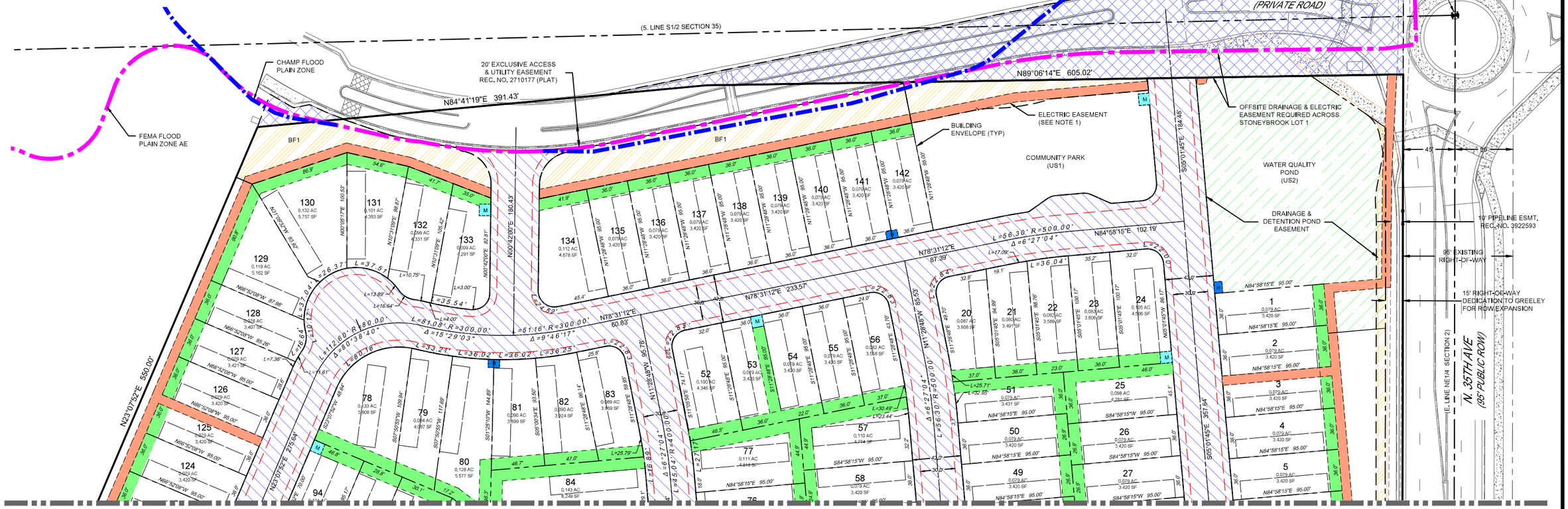
EASEMENT LEGEND

- BOUNDARY LINE
- FEMAFLOOD PLAIN ZONE AE
- PROPOSED CHAMP REVISED ZONE AE
- SECTION CORNER (AS NOTED)
- EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
- PROPOSED 42' CITY OF GREELEY EMERGENCY ACCESS EASEMENT
- PROPOSED CITY OF GREELEY WATER AND SANITARY SEWER EASEMENT
- PROPOSED 8' ELECTRIC EASEMENT
- M — PROPOSED CITY OF GREELEY WATER METER EASEMENT
- H — PROPOSED CITY OF GREELEY WATER FIRE HYDRANT EASEMENT
- UTILITY CORRIDOR
- PROPOSED CITY OF GREELEY DETENTION POND EASEMENT
- ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED WITH FINAL PUD FROM OWNER
- PROPOSED PEDESTRIAN ACCESS EASEMENT

NOTES

1. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY. FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
2. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

0 40' 80'
FEET
Scale: 1" = 40'



MATCHLINE - SEE SHEET 8

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

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PRELIMINARY PUD

PRELIMINARY SITE PLAN 01

SHEET 7
7 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
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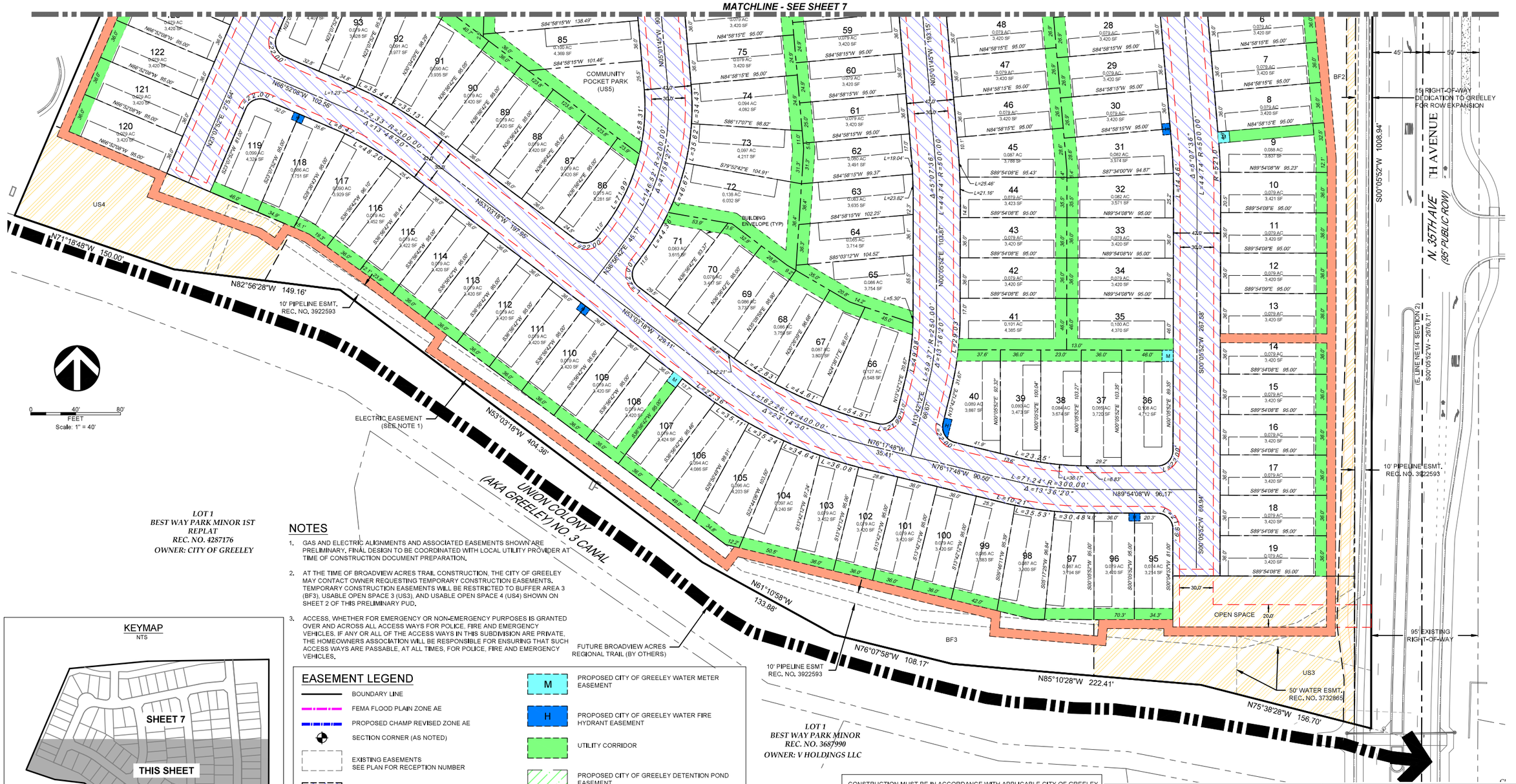

NOTES

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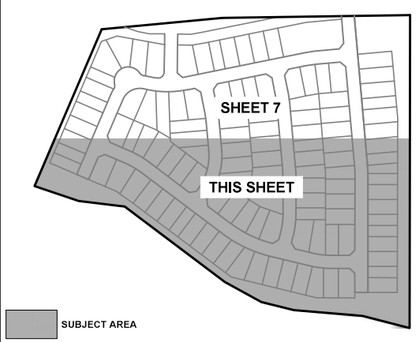
3. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

KEYMAP
NTS



EASEMENT LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN ZONE AE
- PROPOSED CHAMP REVISED ZONE AE
- SECTION CORNER (AS NOTED)
- EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
- PROPOSED 42' CITY OF GREELEY EMERGENCY ACCESS EASEMENT
- PROPOSED CITY OF GREELEY WATER AND SANITARY SEWER EASEMENT
- PROPOSED 8' ELECTRIC EASEMENT
- M — PROPOSED CITY OF GREELEY WATER METER EASEMENT
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- PROPOSED CITY OF GREELEY DETENTION POND EASEMENT
- ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED WITH FINAL PUD FROM OWNER
- PROPOSED PEDESTRIAN ACCESS EASEMENT

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PRELIMINARY PUD

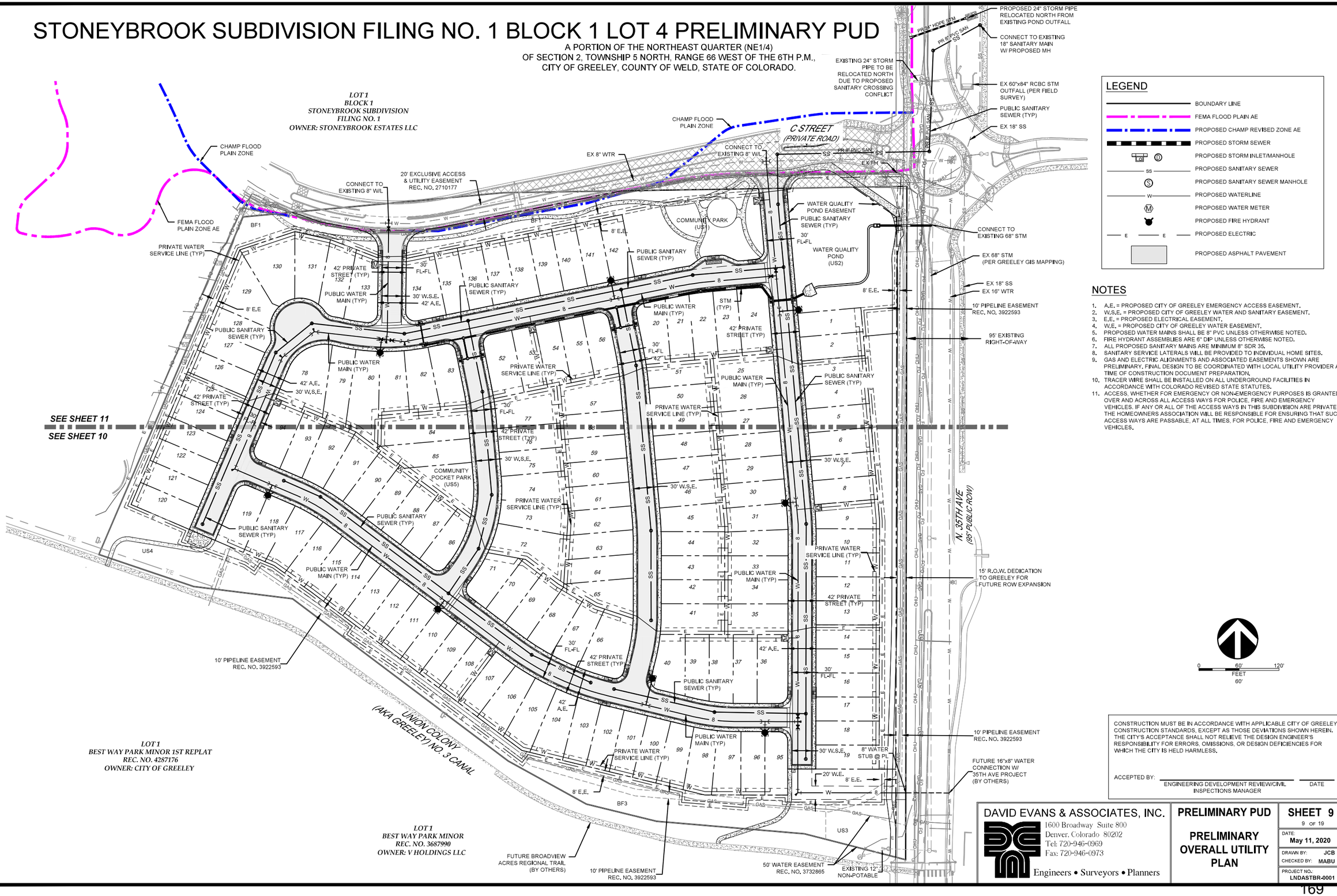
PRELIMINARY SITE PLAN 02

SHEET 8
8 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

NOTES

1. A.E. = PROPOSED CITY OF GREELEY EMERGENCY ACCESS EASEMENT.
2. W.S.E. = PROPOSED CITY OF GREELEY WATER AND SANITARY EASEMENT.
3. E.E. = PROPOSED ELECTRICAL EASEMENT.
4. W.E. = PROPOSED CITY OF GREELEY WATER EASEMENT.
5. PROPOSED WATER MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
6. FIRE HYDRANT ASSEMBLIES ARE 6" DIP UNLESS OTHERWISE NOTED.
7. ALL PROPOSED SANITARY MAINS ARE MINIMUM 8" SDR 35.
8. SANITARY SERVICE LATERALS WILL BE PROVIDED TO INDIVIDUAL HOME SITES.
9. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY, FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
10. TRACER WIRE SHALL BE INSTALLED ON ALL UNDERGROUND FACILITIES IN ACCORDANCE WITH COLORADO REVISED STATE STATUTES.
11. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

0 60' 120'
FEET
60'

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PRELIMINARY PUD

PRELIMINARY OVERALL UTILITY PLAN

SHEET 9
9 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
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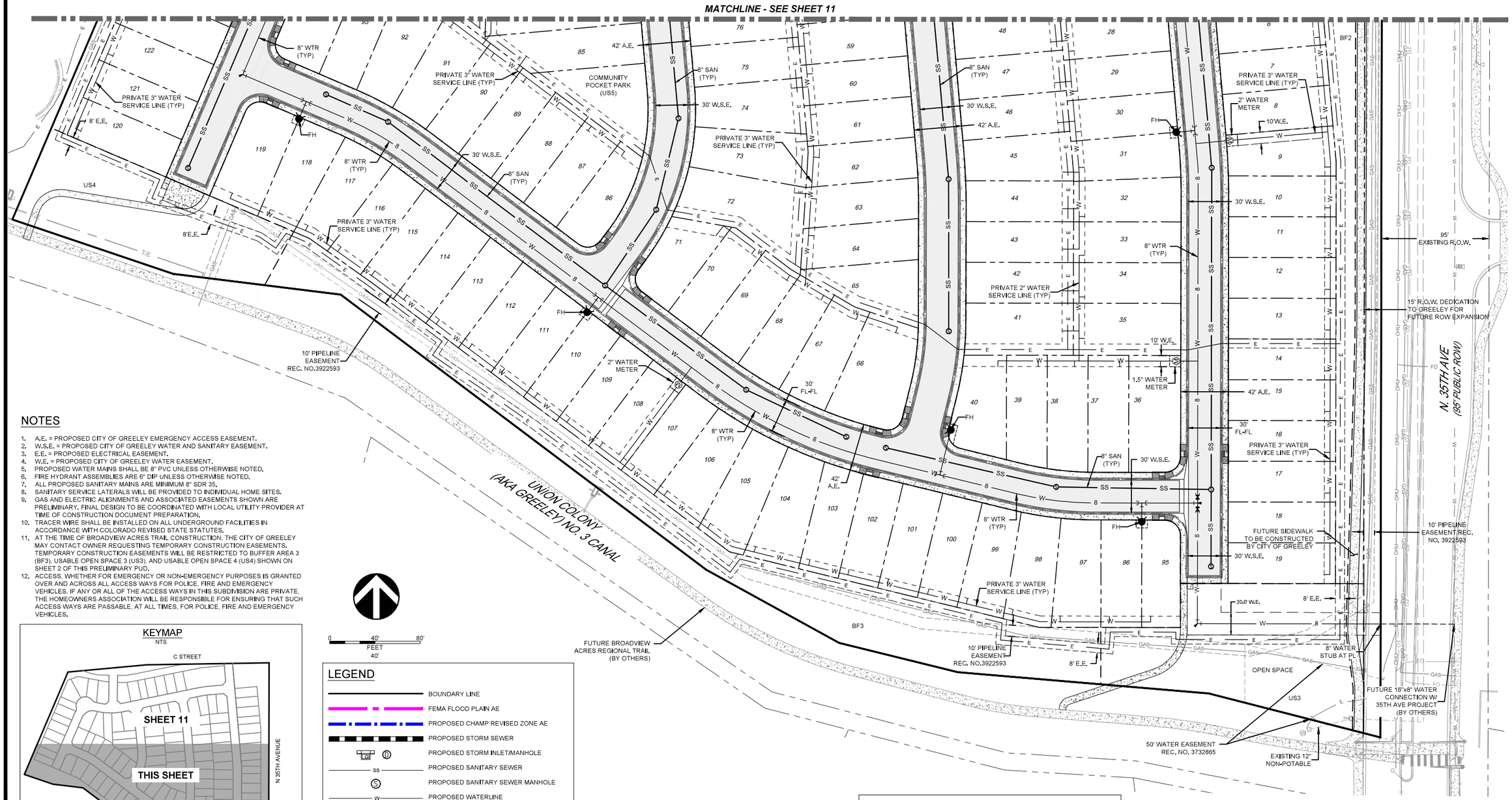

NOTES

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2. W.S.E. = PROPOSED CITY OF GREELEY WATER AND SANITARY EASEMENT.
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KEYMAP

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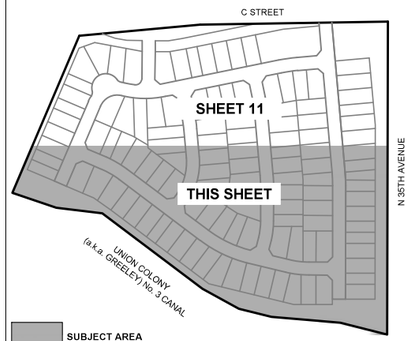

0 40' 80'
FEET
40'

LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
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Engineers • Surveyors • Planners

PRELIMINARY PUD

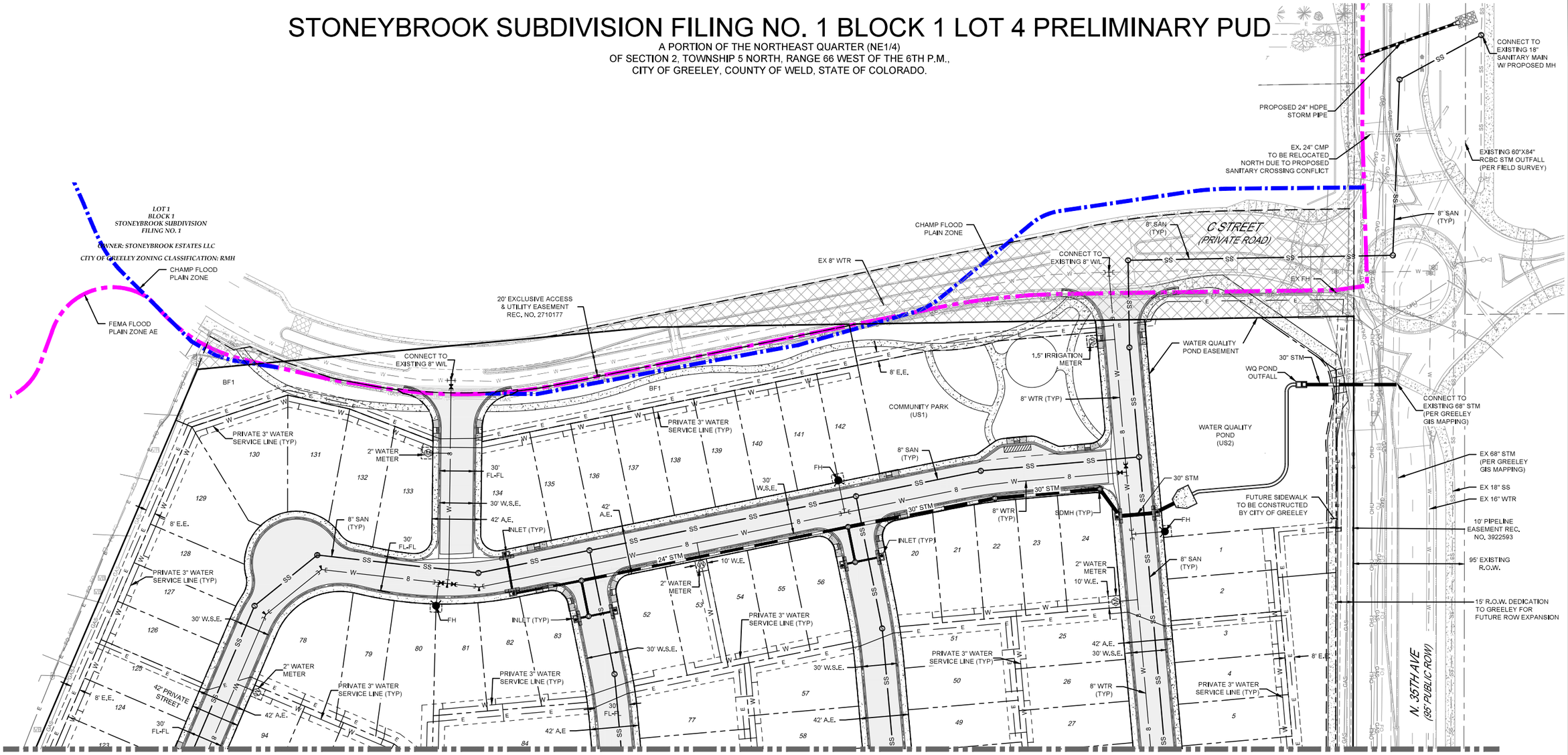
PRELIMINARY UTILITY PLAN 01

SHEET 10
10 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

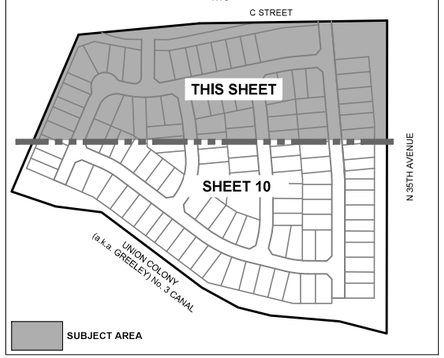
STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



MATCHLINE - SEE SHEET 10

KEYMAP
NTS



LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- SS — PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- W — PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- E — E — PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

NOTES

1. A.E. = PROPOSED CITY OF GREELEY EMERGENCY ACCESS EASEMENT.
2. W.S.E. = PROPOSED CITY OF GREELEY WATER AND SANITARY EASEMENT.
3. E.E. = PROPOSED ELECTRICAL EASEMENT.
4. W.E. = PROPOSED CITY OF GREELEY WATER EASEMENT.
5. PROPOSED WATER MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
6. FIRE HYDRANT ASSEMBLIES ARE 6" DIP UNLESS OTHERWISE NOTED.
7. ALL PROPOSED SANITARY MAINS ARE MINIMUM 8" SDR 35.
8. SANITARY SERVICE LATERALS WILL BE PROVIDED TO INDIVIDUAL HOME SITES.
9. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY. FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
10. TRACER WIRE SHALL BE INSTALLED ON ALL UNDERGROUND FACILITIES IN ACCORDANCE WITH COLORADO REVISED STATE STATUTES.
11. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
12. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

0 40' 80'
FEET
40'

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

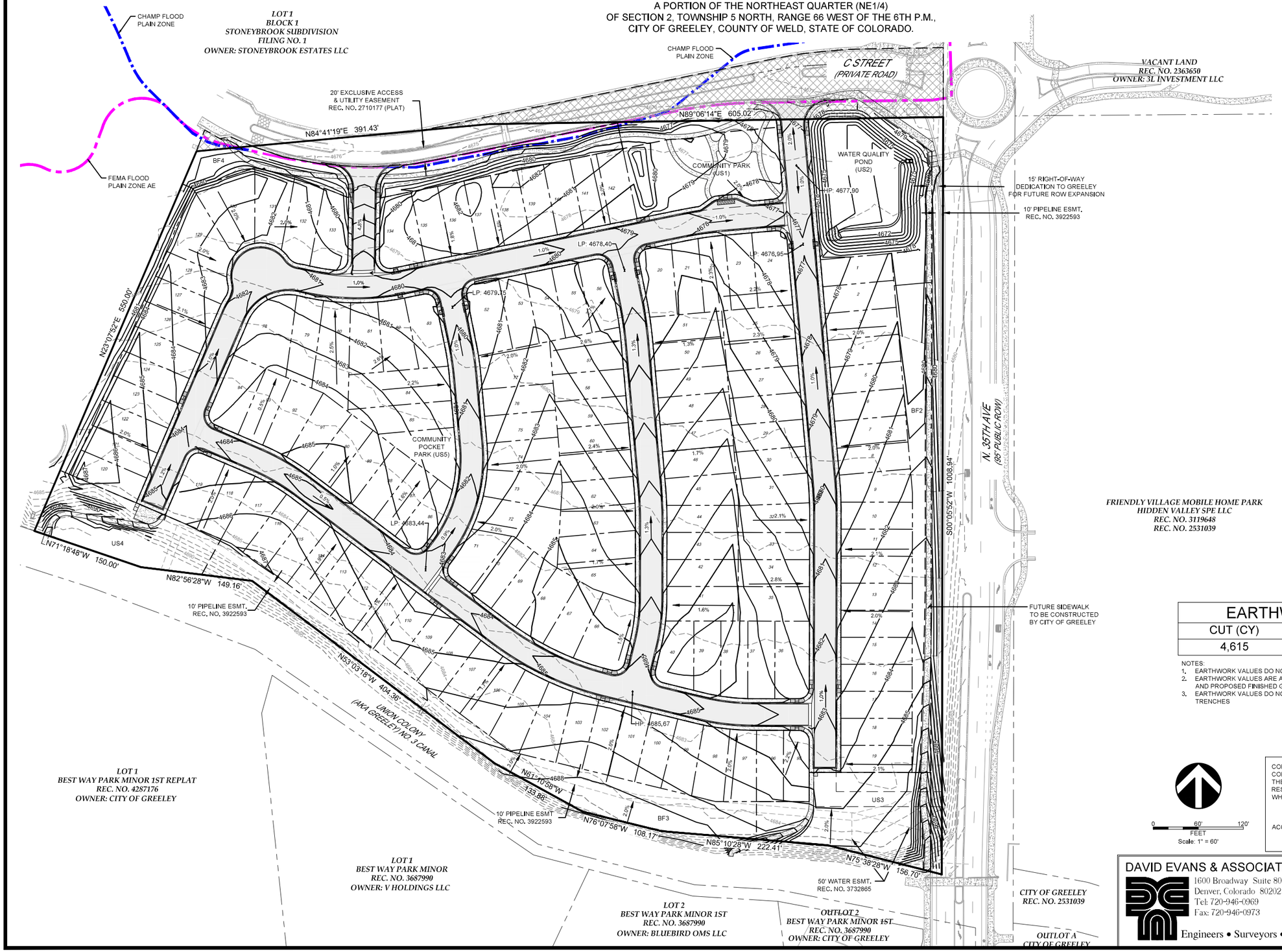
PRELIMINARY UTILITY PLAN 02

SHEET 11
11 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



NOTE

1. STONEYBROOK LOT 4 AS SHOWN HEREIN IS A LAND LEASE COMMUNITY. EACH HOME SITE REPRESENTS A FUTURE AND SEPARATE LAND LEASE AREA.

GRADING LEGEND

———	BOUNDARY LINE
– – – 46XX – – –	EXISTING MAJOR CONTOUR (1-FT)
– – – 46XX – – –	EXISTING MINOR CONTOUR (1-FT)
——— 46XX ———	PROPOSED MAJOR CONTOUR (1-FT)
——— 46XX ———	PROPOSED MINOR CONTOUR (1-FT)
	FEMA FLOODPLAIN AE
	PROPOSED CHAMP REVISED AE
LP: 46XX.XX'	LOW POINT ELEVATION
HP: 46XX.XX'	HIGH POINT ELEVATION
XX.X%	SLOPE

EARTHWORK SUMMARY TABLE

CUT (CY)	FILL (CY)	NET (CY)
4,615	51,868	47,253 (FILL)

NOTES:
1. EARTHWORK VALUES DO NOT INCLUDE SHRINK/SWELL FACTORS.
2. EARTHWORK VALUES ARE A DIRECT COMPARISON BETWEEN THE EXISTING GROUND SURFACE AND PROPOSED FINISHED GRADE SURFACE.
3. EARTHWORK VALUES DO NOT ACCOUNT FOR FOUNDATIONS, PAVEMENT SECTIONS OR UTILITY TRENCHES

0 60' 120'
FEET
Scale: 1" = 60'

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ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER _____ DATE

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PRELIMINARY PUD

PRELIMINARY DRAINAGE & GRADING PLAN

SHEET 12
12 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO. LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1
BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

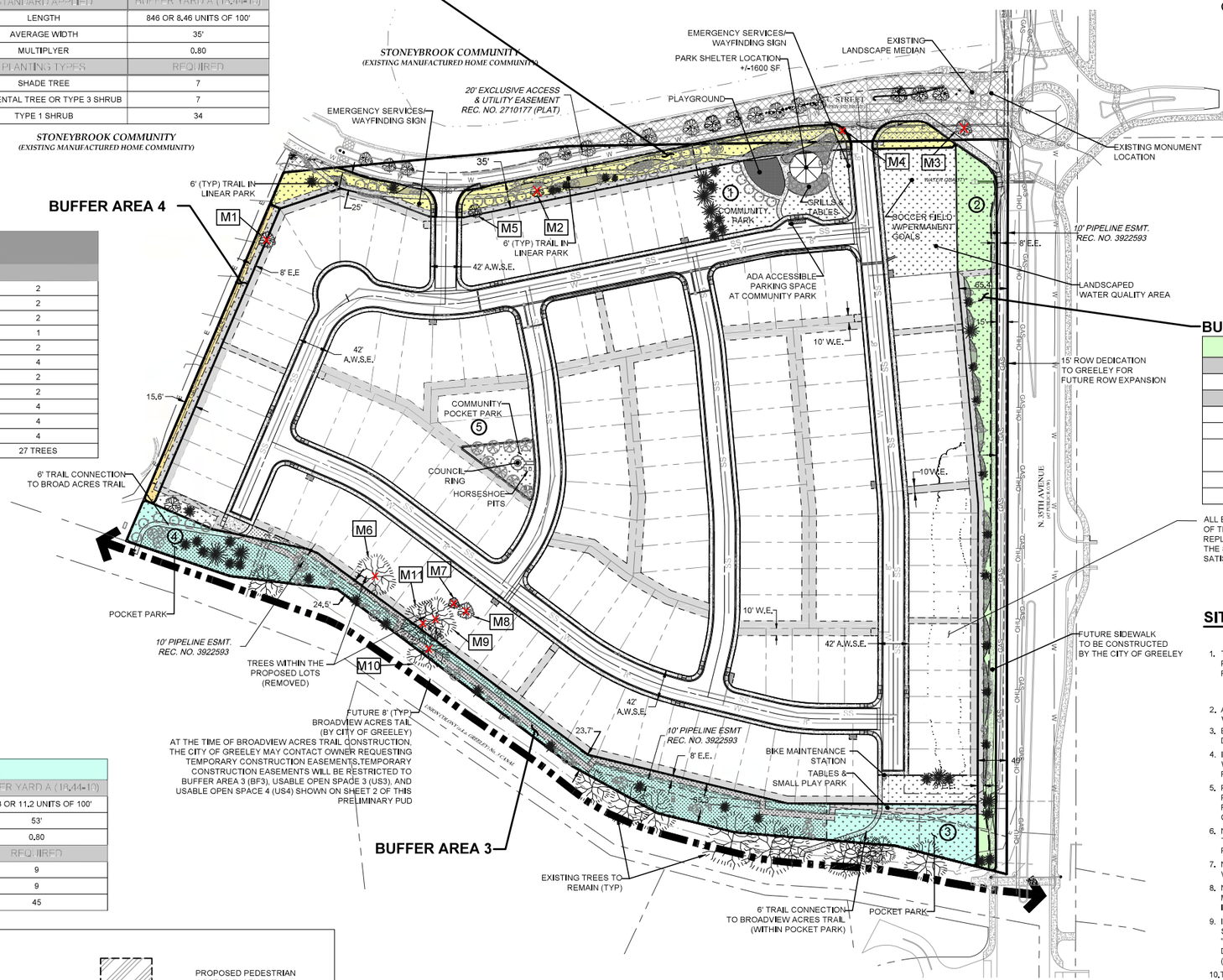
0 80' 160'
FEET
Scale: 1" = 80'

BUFFER AREA 1

BUFFER AREA 1	
STANDARD APPLIED	BUFFER YARD A (18.44-10)
LENGTH	846 OR 8,46 UNITS OF 100'
AVERAGE WIDTH	35'
MULTIPLYER	0.80
PLANTING TYPES	REQUIRED
SHADE TREE	7
ORNAMENTAL TREE OR TYPE 3 SHRUB	7
TYPE 1 SHRUB	34

BUFFER AREA 4

M1	12"	2
M2	10"	2
M3	12"	2
M4	6"	1
M5	10"	2
M6	60"	4
M7	8"	2
M8	10"	2
M9	48"	4
M10	36"	4
M11	48"	4
TOTAL		27 TREES



COMMUNITY AMENITY LOCATIONS	
LOCATION	AMENITY
1	- PLAYGROUND & GRASS PLAY AREA - SHELTER - GRILLS & TABLES
2	- SMALL SOCCER FIELD WITH SLEEVE MOUNTED GOALS
3	- BIKE MAINTENANCE STATION - TABLES & SMALL CHILD PLAY PARK
4	- TRAIL CONNECTION TO BROADVIEW ACRES TRAIL
5	- COUNCIL RING FEATURE / SEATING - HORSESHOE PITS

* SEE SHEET 14 COMMUNITY AMENITY DETAILS FOR ACTIVE OPENSPACE AREAS.
* EACH AMENITY, EXCLUDING TRAIL CONNECTIONS SHALL REPRESENT NINE HUNDRED AND TWENTY-ONE (921) SQUARE FOOT CREDIT TOWARDS THE COMMUNITIES REQUIRED USEABLE OPEN SPACE AREA
* THE TWO CONNECTIONS TO THE BROADVIEW ACRES TRAIL SHALL REPRESENT A COMBINED FOUR HUNDRED, SIXTY AND ONE-HALF (460,5) SQUARE FOOT CREDIT

BUFFER AREA 2

BUFFER AREA 2	
STANDARD APPLIED	ARTERIAL BUFFER YARD A (18.44-5)
LENGTH	980 OR 9,8 UNITS OF 100'
PLANTING TYPES	REQUIRED
SHADE OR ORNAMENTAL TREE	10
EVERGREEN TREE	10
LARGE AND MEDIUM SHRUBS	20 (LARGE)
	40 (MEDIUM)
OR	
SMALL SHRUBS	117

ALL EXISTING TREES LOCATED ADJACENT TO 35TH AVENUE WILL BE REMOVED. THE CITY OF GREELEY HAS RELOCATED A NUMBER OF THESE TREES TO OFF-SITE LOCATIONS. A TOTAL 20 TREES WERE RELOCATED. AS SUCH IT IS IMPRACTICAL TO DETERMINE REPLACEMENT VALUES AT THE TIME OF PRELIMINARY PUD. HOWEVER, THE TOTAL NUMBER OF FUTURE TREES TO BE PLANTED IN THE STONEYBROOK COMMUNITY (BOTH ON HOME SITES AND IN OPEN SPACE AREAS) WILL SURPASS 200 TREES WHICH MORE THAN SATISFIES THE POTENTIAL REPLACEMENT VALUE OF THE TREES REMOVED.

BUFFER AREA 3

BUFFER AREA 3	
STANDARD APPLIED	BUFFER YARD A (18.44-10)
LENGTH	1,123 OR 11,2 UNITS OF 100'
AVERAGE WIDTH	53'
MULTIPLYER	0,80
PLANTING TYPES	REQUIRED
SHADE TREE	9
ORNAMENTAL TREE OR TYPE 3 SHRUB	9
TYPE 1 SHRUB	45

SITE NOTES

1. THE COMMUNITY IS REQUIRED TO HAVE A MINIMUM OF TWO (2) NEIGHBORHOOD IDENTITY FEATURES BASED ON THE PROPOSED TOTAL NUMBER OF DWELLING UNITS (51 TO 150 DWELLING UNITS= 2 FEATURES). THIS PLAN PROPOSES THE FOLLOWING 2 FEATURES TO COUNT TOWARDS THIS REQUIREMENT.
   A. COMMUNITY PARK - (1) FEATURE
   B. PLAYGROUND IN COMMUNITY PARK - (1) FEATURE
2. ADDITIONAL COMMUNITY WAYFINDING FEATURES INCLUDE INSTALLATION OF TWO (2) SIGNS (ONE AT EACH ENTRANCE) FOR VISITOR & EMERGENCY WAYFINDING PURPOSES. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
3. EACH HOMESITE WILL DEPICT A SIGN POSTED ON THE FRONT OF EACH STRUCTURE FOR IDENTIFICATION. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
4. IDENTITY FEATURES (COMMUNITY PARK, WAYFINDING SIGNS, HOMESITE SIGNS, AND PLAYGROUNDS) WHETHER PROPOSED WITH THIS PRELIMINARY PLAN ARE TO COUNT TOWARDS THE TOTAL FEATURES REQUIRED FOR ENTIRE P.U.D. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
5. PER THE DEVELOPMENT CODE ALL HEALTHY TREE'S (EXCLUDING SIBERIAN ELM LOCATED ALONG 35TH STREET) ARE TO BE PRESERVED, UNLESS OTHERWISE NOT PRACTICAL. IN THE EVENT A HEALTHY TREE HAS TO BE REMOVED IT WILL BE REPLACED BASED ON THE CALIPER OF THE TREE REMOVED. SEE THIS SHEET AND TABLE 18.44-6 IN GREELEY'S DEVELOPMENT CODE FOR REPLACEMENT VALUES.
6. NOTE: THE LOCATION OF NEW VEGETATION SHOWN ON SHEET 13 IS CONCEPTUAL ONLY. REQUIRED BUFFER AND PERIMETER TREATMENTS WILL BE PROVIDED PER THE TABLES SHOWN ON THIS SHEET. FLEXIBILITY ON PLANTING LOCATIONS ALONG PROPERTY BOUNDARIES WILL BE ALLOWED TO ACCOMMODATE FINAL DESIGN.
7. NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE (3) FEET IN HEIGHT SHALL BE PLANTED WITHIN POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION EASEMENTS.
8. NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN TEN (10) FEET OF POTABLE AND NON-POTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION MAINS AND SERVICES.
9. IN THOSE AREAS WHERE USEABLE OPEN SPACE IS LOCATED WITHIN AREAS OTHERWISE GOVERNED BY BUFFER YARD STANDARDS, BUFFER YARD STANDARDS SHALL APPLY. BUFFER AREA 1 & BUFFER AREA 3 BOUNDARIES SHALL ADHERE TO "BUFFER YARD A STANDARDS" WITH EXISTING AND MATURE, HEALTHY TREES WITHIN THE AREA COUNTING TOWARDS THE DEFINED "BUFFER YARD A STANDARDS". THE PORTION OF THE EASTERN PUD BOUNDARY ADJACENT TO NORTH 35TH AVENUE (BUFFER AREA 2) SHALL ADHERE TO "ARTERIAL BUFFER STANDARDS."
10. THE LOCATION OF PLANTINGS SHOWN ARE CONCEPTUAL AND MAYBE ADJUSTED AS NECESSARY DURING FINAL PUD DEVELOPMENT

EASEMENT LEGEND

- HOMESITE LINES
- 6" CONCRETE EDGER
- EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
- PROPOSED 30' CITY OF GREELEY ACCESS, WATER AND SANITARY EASEMENT
- PROPOSED UTILITY EASEMENTS (SEE UTILITY SHEETS FOR MORE DETAILED INFORMATION)
- ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED FROM C STREET OWNER
- PROPOSED PEDESTRIAN ACCESS EASEMENT
- PROPOSED STORM SEWER
- SS — PROPOSED SANITARY SEWER
- W — PROPOSED WATER LINE
- E — E — PROPOSED ELECTRIC
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)
- M# — EXISTING TREE TO BE REMOVED.

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ACCEPTED BY: _____ COMMUNITY DEVELOPMENT DIRECTOR _____ DATE

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER _____ DATE

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PRELIMINARY PUD

PRELIMINARY LANDSCAPE PLAN

SHEET 13
13 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1
BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
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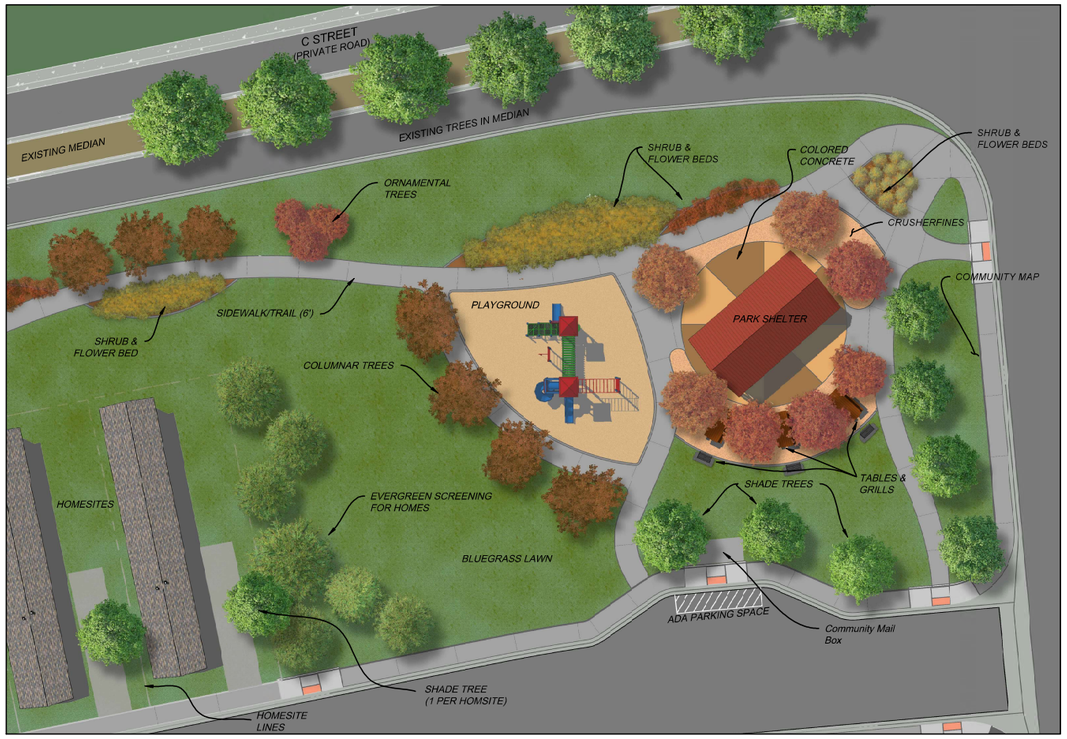

COMMUNITY PARK
NTS

PARK SHELTER W/GRILLS

PICNIC TABLES

PLAYGROUND

ALL IMAGES & RENDERINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING FINAL PUD

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PRELIMINARY PUD

PRELIMINARY LANDSCAPE AMENITY DETAILS 01

SHEET14
14 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1
BLOCK 1 LOT 4 PRELIMINARY PUD

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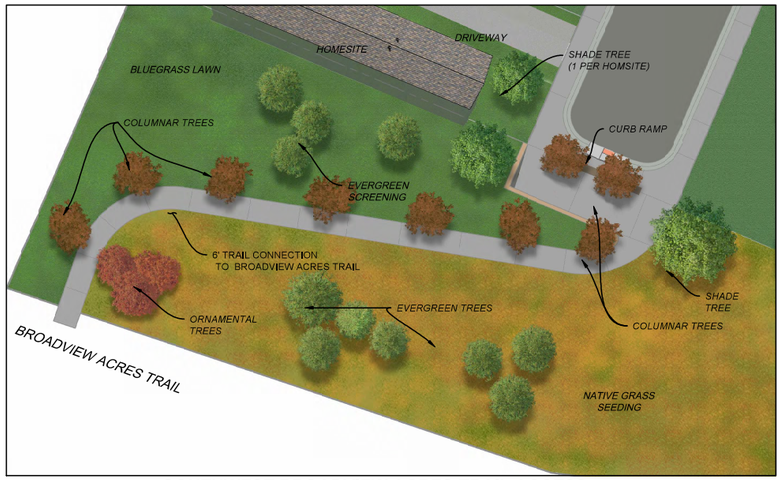
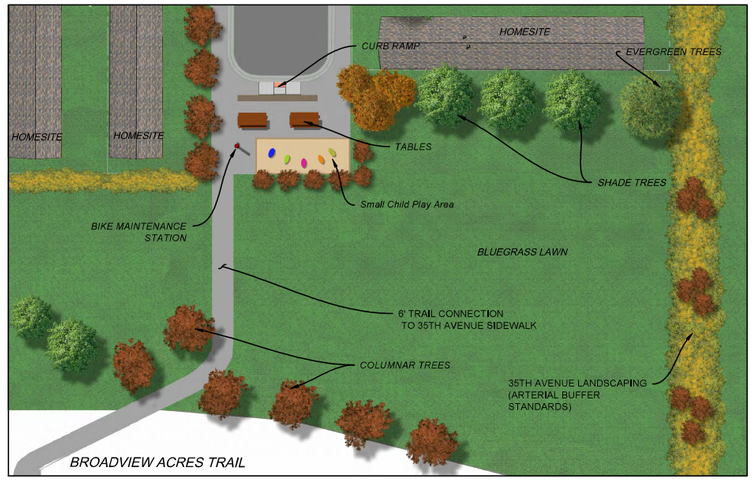


SOUTHWEST BROADVIEW ACRES TRAIL ACCESS
NTS



SOUTHEAST BROADVIEW ACRES TRAIL ACCESS
NTS

PARK BENCH

BIKE REPAIR STATION

COMMUNITY POCKET PARK
NTS

COUNCIL RING

ALL IMAGES & RENDERINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING FINAL PUD

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PRELIMINARY PUD

PRELIMINARY LANDSCAPE AMENITY DETAILS 02

SHEET15
15 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

LANDSCAPE NOTES

1. ALL BUFFER AREAS ALONG C STREET AND NORTH 35TH AVENUE TO BE SOD UNLESS OTHERWISE SPECIFIED.
2. ALL HOMESITE TREES AND LANDSCAPING TO BE INSTALLED BY THE BUILDER NO LATER THAN ONE (1) YEAR AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR EACH HOME.
3. TREES SHALL NOT BE PLANTED WITHIN 10' OF WATER, SEWER, OR STORM SEWER MAINS. TREE LOCATIONS (BUT NOT QUANTITIES) MAY BE ADJUSTED IF REQUIRED TO RESOLVE UTILITY SERVICE OR STREET LIGHTING CONFLICTS.
4. NATIVE SEED AREAS TO BE SEEDED WITH MIXES SHOWN BELOW.
5. WHERE BARE GRADED CONDITIONS CREATE DRAINAGE SWALES, THE AREA IS TO BE SEEDED PER THE PLAN AND OVER-SEEDED WITH A LIGHTER RATE OF THE MOIST SWALE SEED MIX.
6. ALL TREE AND SHRUB SPECIES SHALL BE SELECTED ACCORDING TO THE CITY OF GREELEY DEVELOPMENT CODE APPENDIX 18-D -TREE, SHRUB, AND GROUND COVER LIST.
7. ALL LANDSCAPING IN PRIVATE TRACTS TO BE MAINTAINED BY THE HOA. ALL TREE LAWNS IN RIGHT-OF-WAY TO BE MAINTAINED BY HOA. LANDSCAPING AND OTHER IMPROVEMENTS WITHIN PUBLIC REGIONAL TRAIL EASEMENTS AND MULTI-MODAL TRAIL EASEMENTS TO BE MAINTAINED BY CITY OF GREELEY.
8. ALL TRAILS IN OPEN SPACE SHALL BE A MINIMUM OF SIX FEET IN WIDTH.
9. FENCES ARE NOT PERMITTED BETWEEN HOMESITES OR ALONG THE PERIMETER OF THE COMMUNITY.
10. "BUFFER YARD A" STANDARDS WILL BE MET IN BUFFER AREA 1 AND BUFFER AREA 3.
11. ARTERIAL PERIMETER TREATMENT STANDARDS WILL BE MET ALONG THE 35TH AVENUE FRONTAGE. SEE SHEET 3 FOR DEFINITIONS & DEVIATIONS.
12. LOCATION OF NEW VEGETATION/PLANTINGS IS CONCEPTUAL ONLY. FLEXIBILITY ON PLANTING LOCATIONS WILL BE ALLOWED TO ACCOMMODATE FINAL DESIGN.

SEEDING

ALL PREPARED AREAS, NEED TO BE FIRM, BUT NOT COMPACTED, PRIOR TO SEED APPLICATIION.

BLUEGRASS AREAS:

A. SOW BLUEGREASSS MIX AT RATE OF 5 LBS. PER 1,000 SQUARE FEET.
B. SOW TURF GRASS USING MECHANICAL TYPE 3 DRILL, (BRILLION) SEEDING MACHINE FOR SLOPES 4:1 AND FLATTER.
   B.1 DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES OF EACH OTHER
   B.2 FOR AREAS INACCESSIBLE TO SEEDING MACHINES USE BROADCAST METHOD. SEE BLUEGRASS SPECIES TABLE BELOW.

BLUEGRASS SPECIES/VARIETY	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
KENTUCKY BLUEGRASS, MOONLIGHT	65.1
KENTUCKY BLUEGRASS, NORTHSTAR	65.1
KENTUCKY BLUEGRASS, QUANTUM	65.1
PERENNIAL RYEGRASS	21.7

NATIVE AREAS:

A. SEED THE LISTED VARIETIES IN THE AREAS DESIGNATED ON THE DRAWINGS.
B. ALL SEED IS TO BE DRILLED 0,25 INCH TO 0,50 INCH INTO THE SOIL AT THE SPECIFIED LBS/ACRE RATE LISTED IN THE SEED MIX TABLES BELOW, WITH A MECHANICAL, POWER DRAWN DRILL SEEDER. ROWS SHALL BE SPACED NOT MORE THAN EIGHT INCHES (8") APART.
C. THE CONTRACTOR SHALL DRILL EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES OF EACH OTHER.
D. SEEDING RATES NEED TO BE INCREASED 50% ON SLOPES 6:1 OR STEEPER.
E. SEEDING RATES NEED TO BE INCREASED 100% FOR AREAS THAT ARE SEEDED BY HAND BROADCASTING.

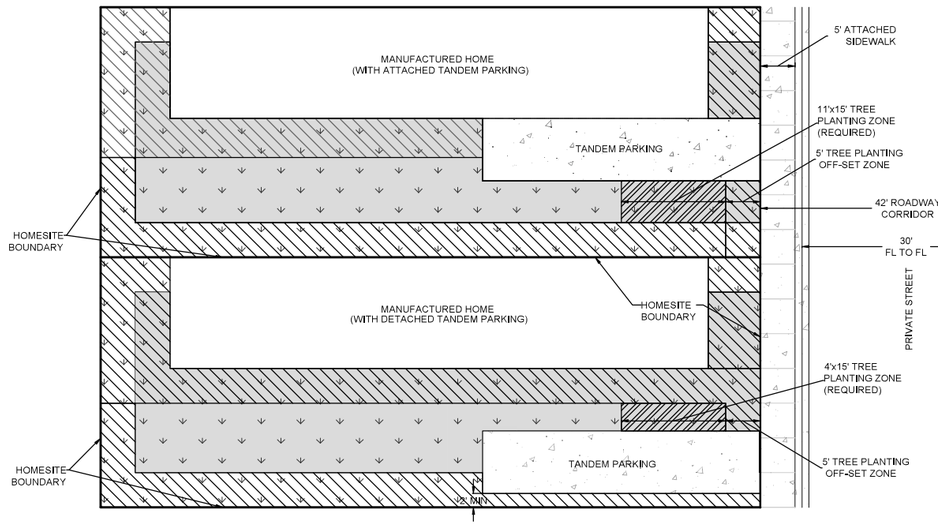
LOW GROW MIX USE A MINIMUM 8 FEET WIDE ON SIDES OF PATHWAYS. USE AT PROPERTY LINES ABUTTING RESIDENTIAL PROPERTIES. USE IN OPEN SPACE WHERE SHORT GRASSES ARE DESIRED.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
BUFFALO GRASS	8,0
BLUE GRAMMA	6,5

SLOPE MIX USED ON ALL SLOPES AND BERMS.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
SIDE OATS GRAMMA	4,0
BLUE GRAMMA	4,0
LITTLE BLUESTEM	4,0
SAND DROPSEED	0,12
STREAM BANK GRASS	8,0

POND MIX USED IN AND AROUND DETENTION/RETENTION PONDS, AND IN AREAS THAT ARE DESIGNED TO HOLD WATER, BUT ARE NOT NECESSARILY WET THE MAJORITY OF THE TIME.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
LITTLE BLUESTEM	2,0
YELLOW INDIAN GRASS	2,0
SWITCHGRASS	1,0
BLUE GRAMMA	0,6
SIDE OATS GRAMMA	3,0
PRAIRIE SANDREED	1,5
WESTERN WHEATGRASS	4,0
STREAM BANK GRASS	5,0

COMPANION CROP ADD THE APPROPRIATE COMPANION CROP TO THE NATIVE SEED MIXES TO BE PLANTED.	
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
SPRING PLANTING: OATS	8,0
FALL PLANTING: WINTER WHEAT	6,5

HOMESITE LANDSCAPING



ALLOWABLE TURF AREA		TURF SHALL BE PLACED AS SOD WITHIN ONE YEAR OF PLACEMENT OF STRUCTURES ON HOME SITES
CONCRETE SURFACE		CONCRETE SIDEWALK AND PARKING
HOME SITE AREA AVAILABLE FOR PLANTINGS		INDIVIDUAL PLANTING AREAS ARE ALLOWED ON EACH HOME SITE AND SHALL NOT BE LOCATED WITHIN 5' OF ADJOINING LOT LINES
REQUIRED SHADE TREE PLANTING ZONE		ONE 2" CALIPER (MEASURED 1' ABOVE GRADE) CALIPER SHADE TREE SHALL BE PLANTED NO MORE THAN 20' FROM BACK OF SIDEWALK AND NO LESS THAN 5' FROM BACK OF SIDEWALK. ADDITIONAL TREES ARE PERMITTED ON HOME SITES AND MAY BE PLANTED NO CLOSER THAN 5' IN DISTANCE FROM ADJOINING HOME SITE LINES AND SHALL NOT BE PLANTED WITHIN 10' OF UTILITY SERVICE LINES . REQUIRED TREES SHALL BE PLANTED BY THE BUILDER OR LANDOWNER WITHIN ONE YEAR OF PLACEMENT OF STRUCTURES ON HOME SITE AND SHALL BE SELECTED FROM THE CITY OF GREELEYS APPROVED SELECTION OF SPECIES.
NO TREE PLANTING ZONE		TREES ARE NOT TO BE PLANTED CLOSER THAN 5 FEET FROM THE FOLLOWING: REAR OF HOMESITE, MANUFACTURED HOME, OR SIDEWALK TO PREVENT ANY POTENTIAL DISTURBANCE TO THE CONCRETE FOUNDATIONS AND UTILITIES.

HOMESITE LANDSCAPING NOTES:

ALL HOMESITES SHALL BE LANDSCAPED WITHIN ONE (1) YEAR OF UNIT PLACEMENT. INITIAL LANDSCAPING INSTALLATION SHALL BE THE RESPONSIBILITY OF THE BUILDER. ONCE INSTALLED, IRRIGATION AND MAINTENANCE OF LANDSCAPING IS THE SOLE RESPONSIBILITY OF THE OWNER, SUCCESSOR OR ASSIGNS. MINIMUM LANDSCAPING FOR EACH HOME SITE IS AS FOLLOWS:

1. ONE (1) TWO (2") INCH MINIMUM CALIPER SHADE TREE PLANTED IN DESIGNATED AREA SHOWN IN EXHIBIT HEREON.
2. THE REMAINING AREA (OUTSIDE OF THE BUILDING FOOTPRINT, PATIO, DECK, AND PARKING PAD) MUST BE PLANTED WITH LIVING ELEMENTS SUCH AS SOD LAWNS OR GARDENS. ALL HOMESITES MUST BE KEPT FREE OF BARE DIRT AND/OR WEEDS.
3. SEE SHEET 4 ALLOWABLE PARKING PAD LOCATIONS.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD

PRELIMINARY SITE & LANDSCAPE DETAILS 01

SHEET16
16 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

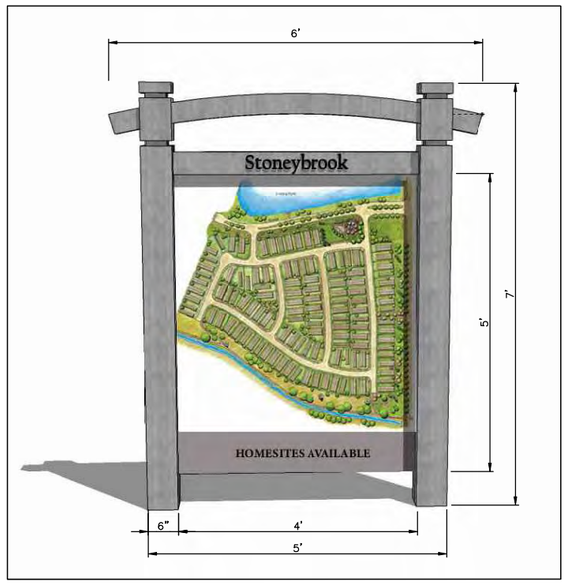
A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

MANUFACTURED HOME SITE IDENTIFICATION SIGN

UNIT IDENTIFICATION SIGN DESIGN STANDARDS:

1. MUST BE POSTED ON THE SIDE OF HOME/ STRUCTURE FACING THE INTERNAL STREET AND SHALL BE POSTED 6' FROM GRADE.
2. SHALL BE CONSTRUCTED OF DURABLE MATERIALS THAT MAY INCLUDE METAL ALLOY'S OR LASTING COMPOSITE MATERIALS.
3. MINION VARIABLE FONT OR FONT OF SIMILAR APPEARANCE.
4. SHALL MATCH SIGNAGE FOR INDIVIDUAL HOME SITES FOUND IN ADJACENT MANUFACTURED HOME COMMUNITY TO THE WEST.

CONCEPTUAL WAYFINDING SIGN



NOTES:

1. WILL BE PLACED AT BOTH ENTRANCES TO THE COMMUNITY.
2. WILL IDENTIFY FOR VISITORS & EMERGENCY SERVICES THE LOCATION OF SPECIFIC HOME SITES.
3. SHALL BE CONSTRUCTED OF METAL OR COMPOSITE MATERIALS FOR DURABILITY.
4. SEE SHEET 13 FOR LOCATIONS.
5. WAYFINDING SIGNAGE LOCATED AT THE ENTRANCE OF THE COMMUNITY MUST MEET CITY OF GREELEY BUILDING CODES.
6. SIGN SHALL BE A MINIMUM SIZE OF 4'x5'.
7. ANY SIGNAGE NOT INCLUDED HEREIN SHALL BE PERMITTED UNDER SEPARATE CITY OF GREELEY PROCESSES AND MUST MEET THE REQUIREMENTS OF CHAPTER 18.54 OF THE GREELEY MUNICIPAL CODE (THE "GREELEY SIGN CODE").

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ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR — DATE

ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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PRELIMINARY PUD

PRELIMINARY SITE & LANDSCAPE DETAILS 02

SHEET17
17 OF 19

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

NOTE: IMAGES SHOWN ARE EXAMPLE BUILDING ELEVATIONS AND ARE CONCEPTUAL ONLY. VARIATIONS TO EXTERIOR COLORS AND FINISHED MAY OCCUR.

ARCHITECTURAL DESIGN STANDARDS

MANUFACTURED HOMES SHALL ADHERE TO THE STANDARDS SET FORTH BELOW.

1. NO MANUFACTURED HOME SHALL EXCEED 30' IN HEIGHT.
2. NO MANUFACTURED HOMES OR ACCESSORY STRUCTURES SHALL OVERHANG OR OBSTRUCT ANY DRIVEWAY, PARKING SLAB, STREET, OR PATHWAY.
3. ALL UNITS SHALL BE SKIRTED WITH MATERIALS WHICH ARE THE SAME OR COMPATIBLE WITH THE MATERIAL USED AS THE PRINCIPAL EXTERIOR MATERIAL OF THE UNIT.
4. ROOFING SHALL BE SIMILAR IN COLOR, AND APPEARANCE TO ROOFING IN THE VICINITY OF THE COMMUNITY.
5. PRIMARY EXTERIOR MATERIALS SHALL BE SIMILAR IN COLOR, AND APPEARANCE TO RESIDENTIAL EXTERIORS IN THE VICINITY OF THE COMMUNITY.
6. GARAGES ARE NOT PERMITTED WITH THE COMMUNITY.
7. COVERED PORCHES, PATIOS AND DECKS ARE OPTIONAL AND MUST MEET CITY OF GREELEY BUILDING CODE.

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ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR DATE

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PRELIMINARY PUD

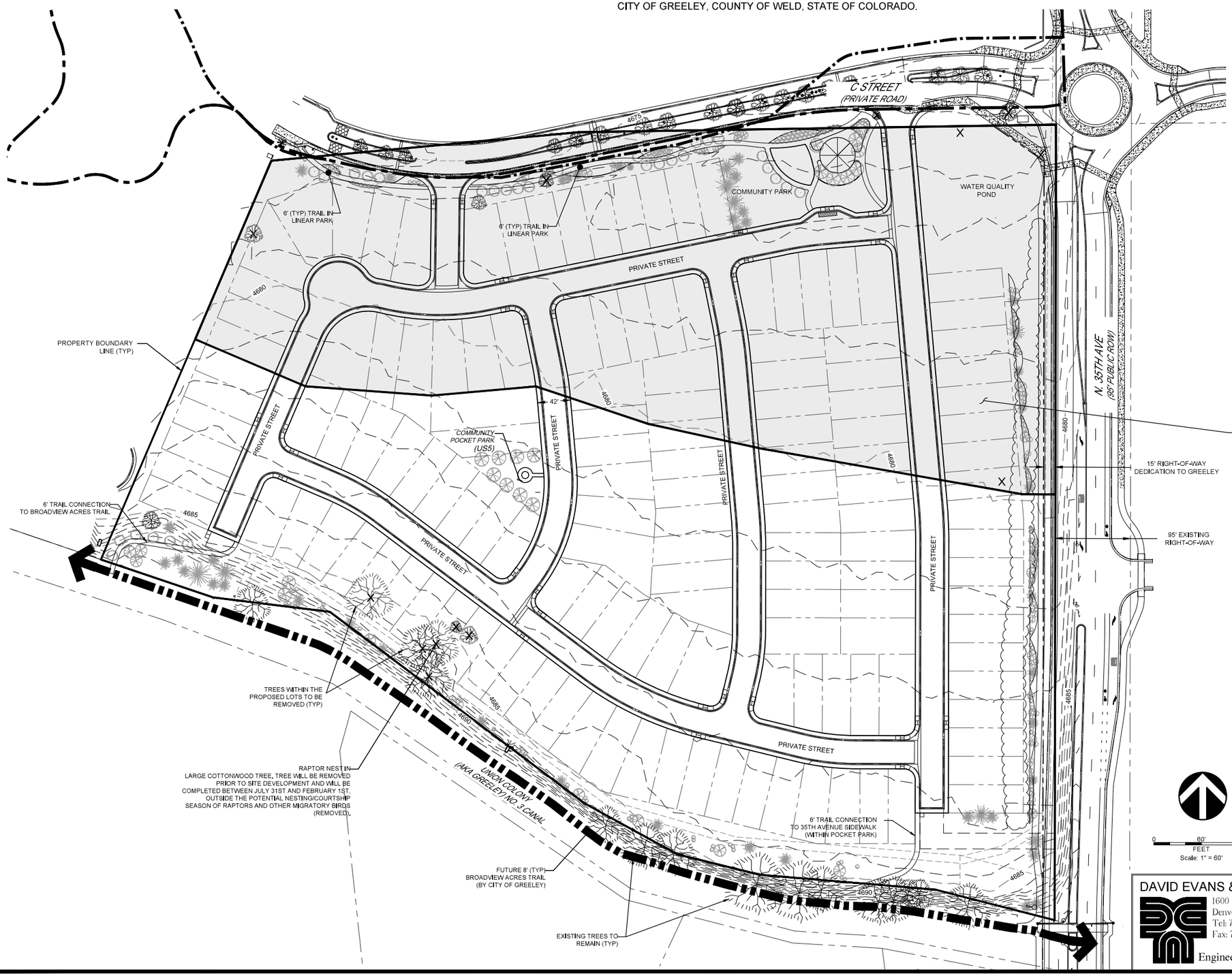
CONCEPTUAL ARCHITECTUAL ELEVATIONS

SHEET18
18 OF 19

DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



LEGEND

- PROPERTY BOUNDARY LINE
- HOMESITE LINE
- 4680 — EXISTING CONTOURS
- PRAIRIE DOG LOCATION/AREA
- CONIFEROUS TREES
- COLUMNAR TREES
- DECIDUOUS TREES
- ORNAMENTAL TREES
- LARGE SHRUB
- MEDIUM SHRUB
- EXISTING TREES TO BE REMOVED
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)

REMOVAL OF EXISTING BLACK TAILED PRAIRIE DOG COLONY. REMOVAL WILL FOLLOW STANDARDS ESTABLISHED IN SECTION 18.48.060(b)(1)(2) OF THE GREELEY DEVELOPMENT CODE. REMOVAL WILL NOT OCCUR BETWEEN MAY 15 THROUGH SEPTEMBER 15 TO PROTECT POTENTIAL BURROWING OWLS UNLESS THE COLONY HAS BEEN SURVEYED BY A PROFESSIONAL BIOLOGIST FOR THE PRESENCE OF BURROWING OWLS.

0 60' 120'
FEET
Scale: 1" = 60'

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ACCEPTED BY: _____ _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER — DATE

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1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
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PRELIMINARY PUD

ECOLOGICAL ASSESMENT

SHEET19
19 OF 19

DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

PROPERTY BOUNDARY MAP

Attachment D

Of Lot 4, Block 1, Stoneybrook Subdivision Filing No. 1,
Situate in the Northeast Quarter of Section 2, Township 5 North, Range 66 West
of the 6th P.M., City of Greeley, County of Weld, State of Colorado

PROPERTY DESCRIPTION

Lot 4, Block 1, Stoneybrook Subdivision Filing No. 1, City of Greeley, County of Weld, State of Colorado.

Said described parcels contain 20.662 Acres, more or less (±).

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the East line of the Northeast Quarter of Section 2, T.5N., R.66W., as bearing South 00°05'52" West as monumented as shown on this plat, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2676.71 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

NOTICE

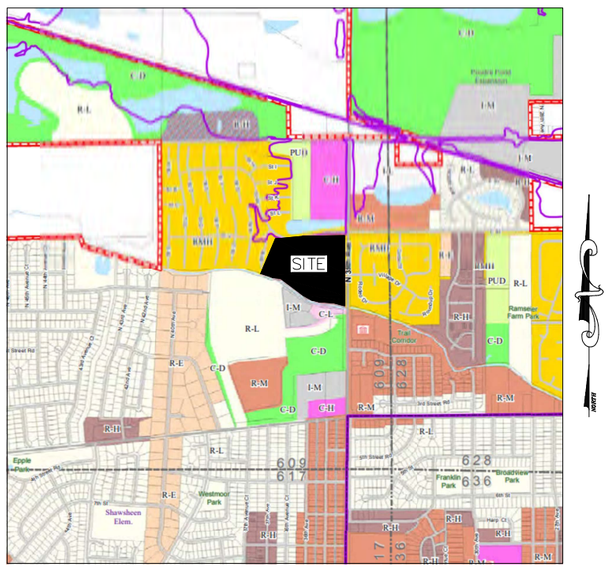
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

SURVEYOR'S STATEMENT

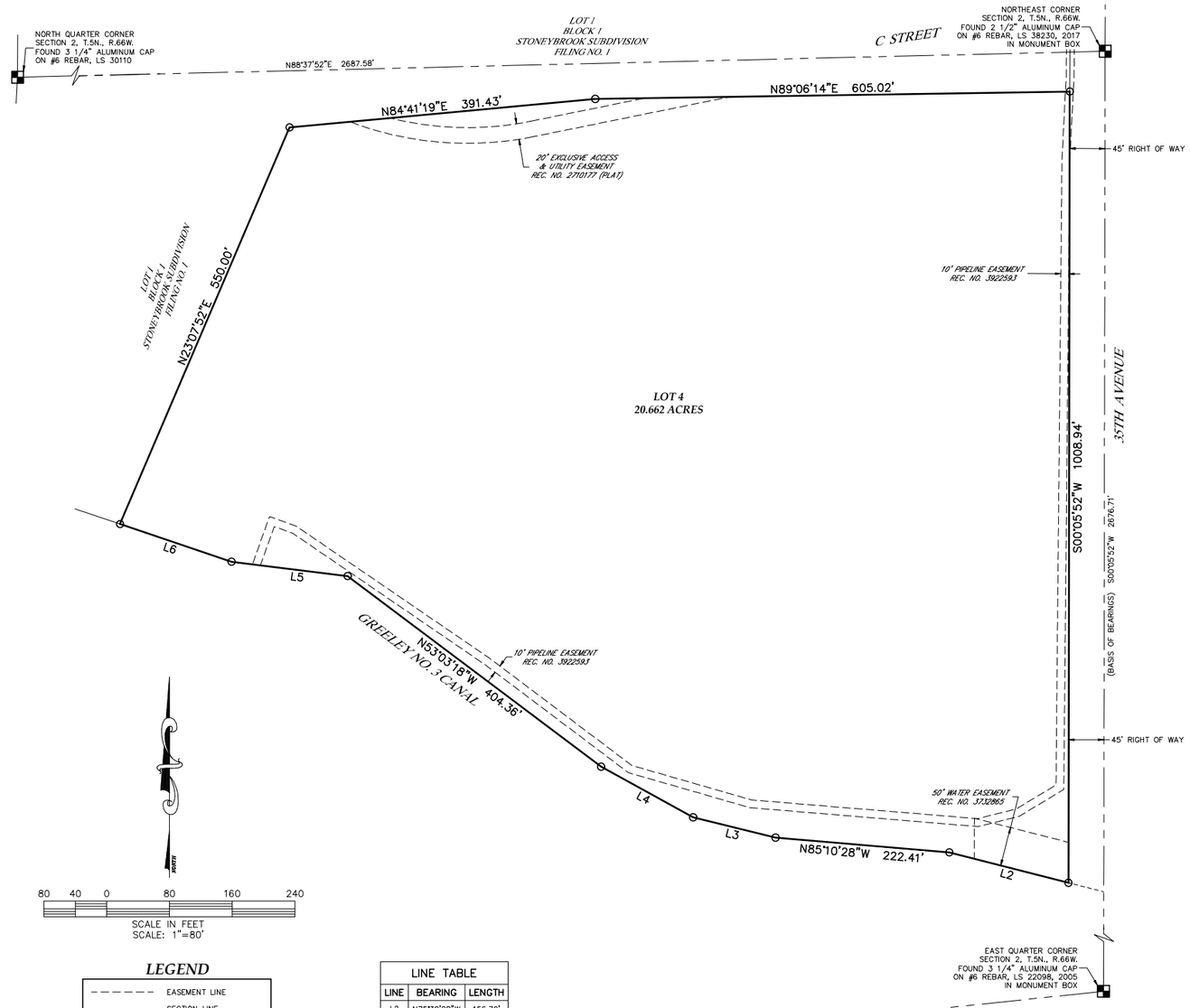
I certify that this map accurately represents the results of a survey made by me or under my direct supervision.

PRELIMINARY

Paul B. Groves – On Behalf Of King Surveyors
Colorado Licensed Professional
Land Surveyor #38209



VICINITY MAP
SCALE: 1"=1000'



LEGEND

- EASEMENT LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- FOUND ALIQUOT CORNER AS DESCRIBED
- CALCULATED POSITION

LINE TABLE		
LINE	BEARING	LENGTH
L2	N75°38'28"W	156.70'
L3	N76°07'58"W	108.17'
L4	N61°10'58"W	133.88'
L5	N82°56'28"W	149.16'
L6	N71°18'48"W	150.00'

KING SURVEYORS
650 E. Garden Drive | Windsor, Colorado 80550
phone: (970) 686-5011 | email: contact@KingSurveyors.com

DATE: 5/11/2020
FILE NAME: 20180516REZ
SCALE: 1"=80'
DRAWN BY: CSK
CHECKED BY: PG

REVISIONS: DATE:

PROPERTY BOUNDARY MAP
FOR
LAND ASSET STRATEGIES, LLC
15400 W. 64TH AVENUE, UNIT E9-123
ARVADA, CO 80007

PROJECT #: 20180516

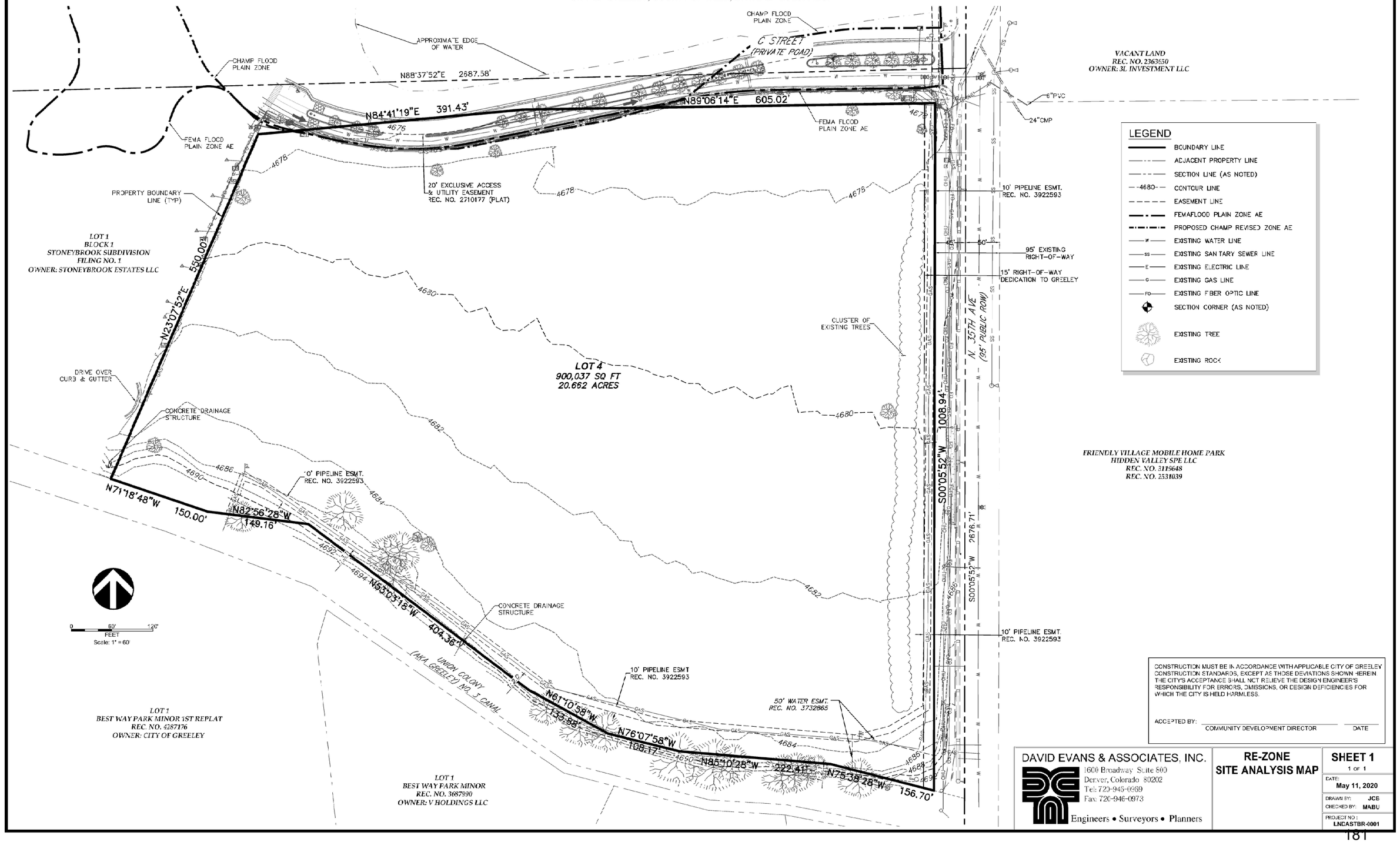
1

SHEET 1 OF 1

V:\20180516\DWG\20180516REZ.dwg, 10/31/2019 10:09:26 AM, 1:1

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 RE-ZONE

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



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ACCEPTED BY: _____ _____
COMMUNITY DEVELOPMENT DIRECTOR DATE

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-945-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

RE-ZONE SITE ANALYSIS MAP

SHEET 1
1 OF 1

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LINCASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 RE-ZONE

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
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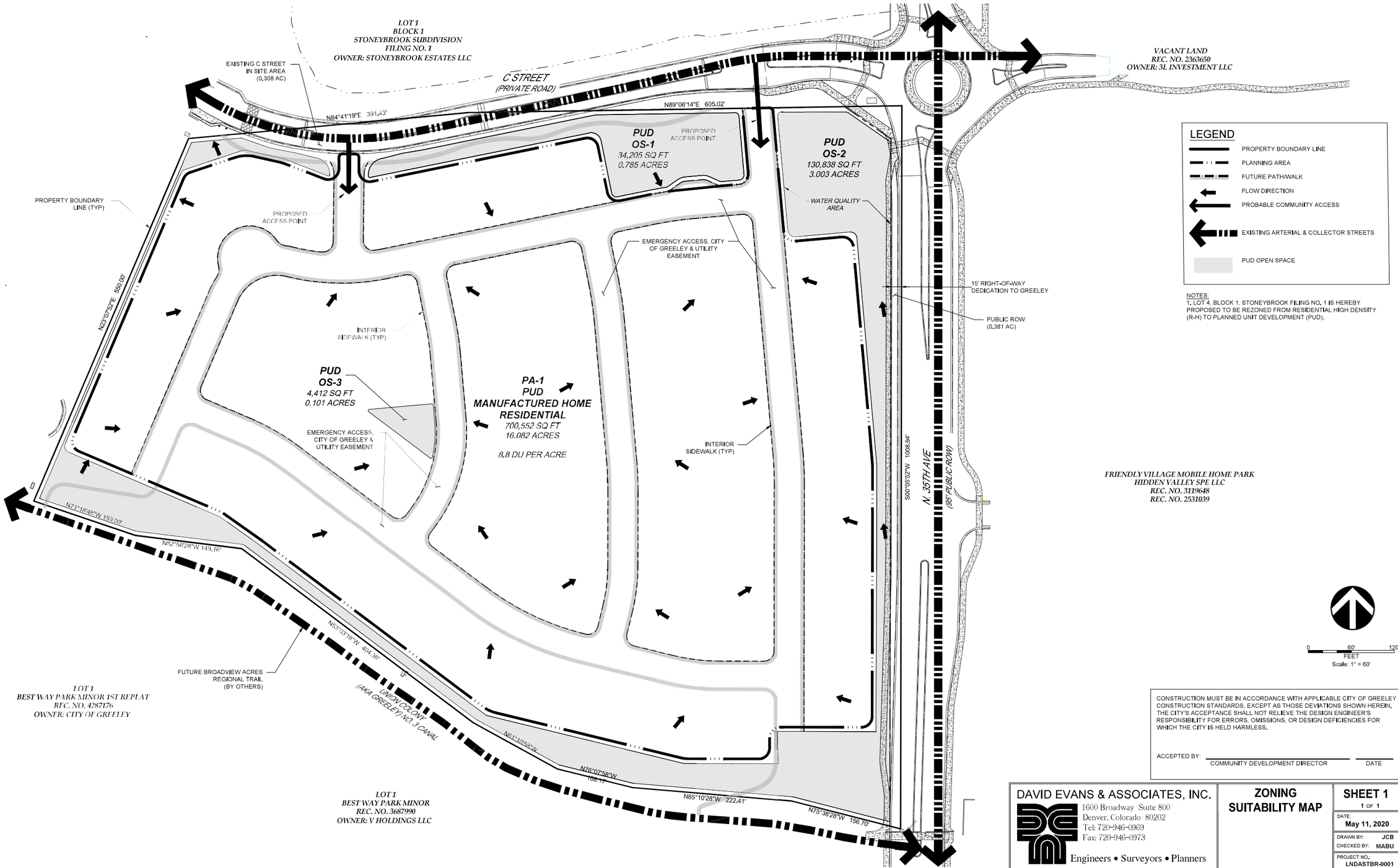

LEGEND

- PROPERTY BOUNDARY LINE
- PLANNING AREA
- FUTURE PATH/WALK
- FLOW DIRECTION
- PROBABLE COMMUNITY ACCESS
- EXISTING ARTERIAL & COLLECTOR STREETS
- PUD OPEN SPACE

NOTES:
1. LOT 4, BLOCK 1, STONEYBROOK FILING NO. 1 IS HEREBY PROPOSED TO BE REZONED FROM RESIDENTIAL HIGH DENSITY (R-H) TO PLANNED UNIT DEVELOPMENT (PUD).

0 60' 120'
FEET
Scale: 1" = 60'

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ZONING SUITABILITY MAP

SHEET 1
1 OF 1

DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone & Preliminary PUD

ZON2020-0008 & PUD2019-0004

CITY COUNCIL HEARING

August 4, 2020

Caleb Jackson, AICP | Planner II

Request

- **Rezone (ZON2020-0008)**
  - **Approximately 20.7 ac. from R-H to PUD**
- **Preliminary Planned Unit Development (PUD2019-0004)**
  - **Approximately 142 mobile home sites**

Surrounding Zoning & Land Use

- **North: R-MH (Retention Pond)**
- **South: C-L, I-M, R-L (Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility)**
- **East: R-MH (Mobile Home Community)**
- **West: R-MH (Mobile Home Community)**

City of Greeley Colorado

Surrounding Zoning & Land Use

- **North: R-MH (Retention Pond)**
- **South: C-L, I-M, R-L (Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility)**
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City of Greeley Colorado

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City of Greeley Colorado

Surrounding Zoning & Land Use

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- **East: R-MH (Mobile Home Community)**
- **West: R-MH (Mobile Home Community)**

City of Greeley Colorado

Site History

- **1985 – Putnam Farm Annexation (Ordinance #85)**
- **1985 – Zoned R-3 (Ordinance #97)**
- **1998 – R-3 becomes R-H in Development Code**
- **Site has remained undeveloped since annexation and initial zoning**

Site Photos

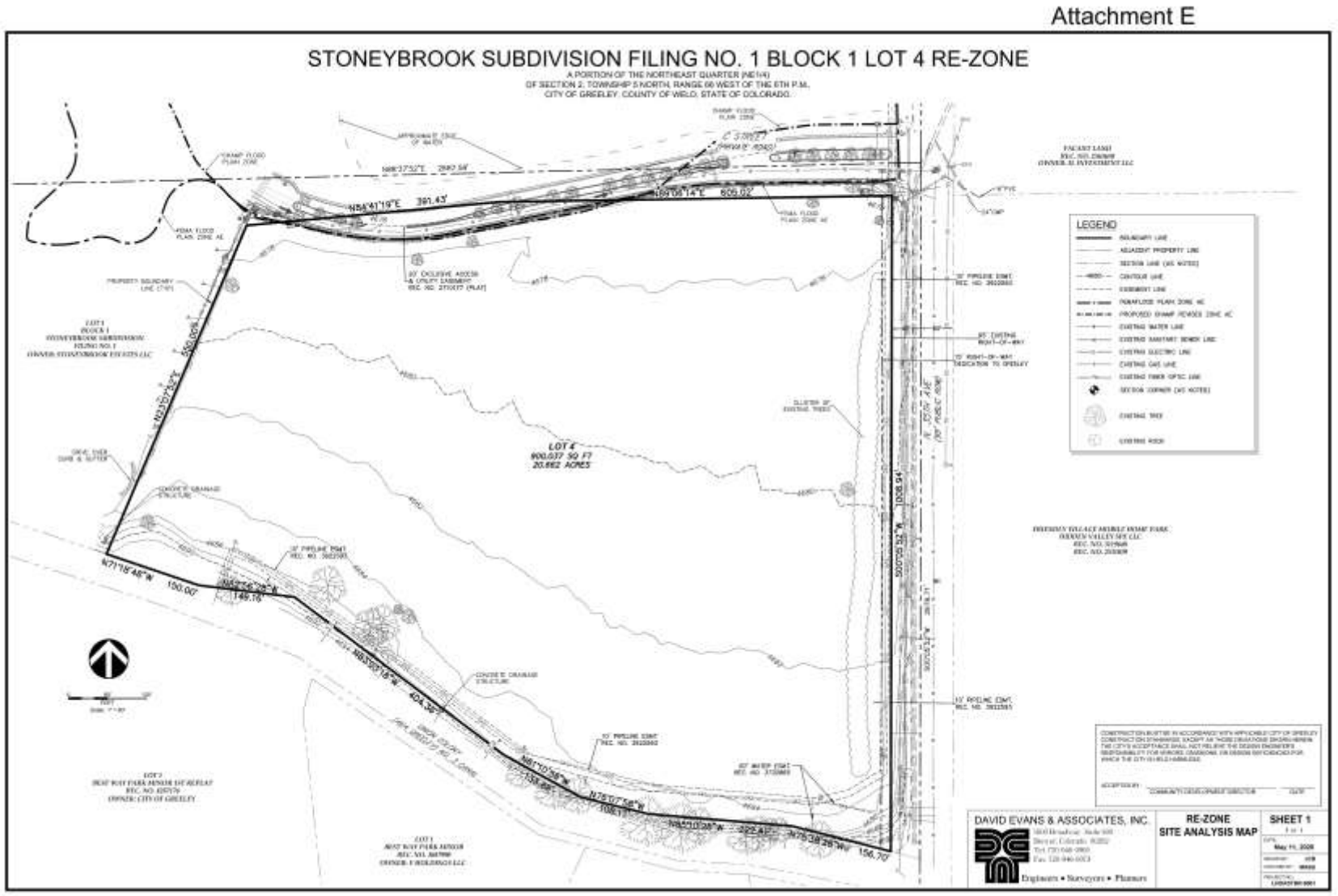
Site Photos

Site Photos

City of Greeley Colorado

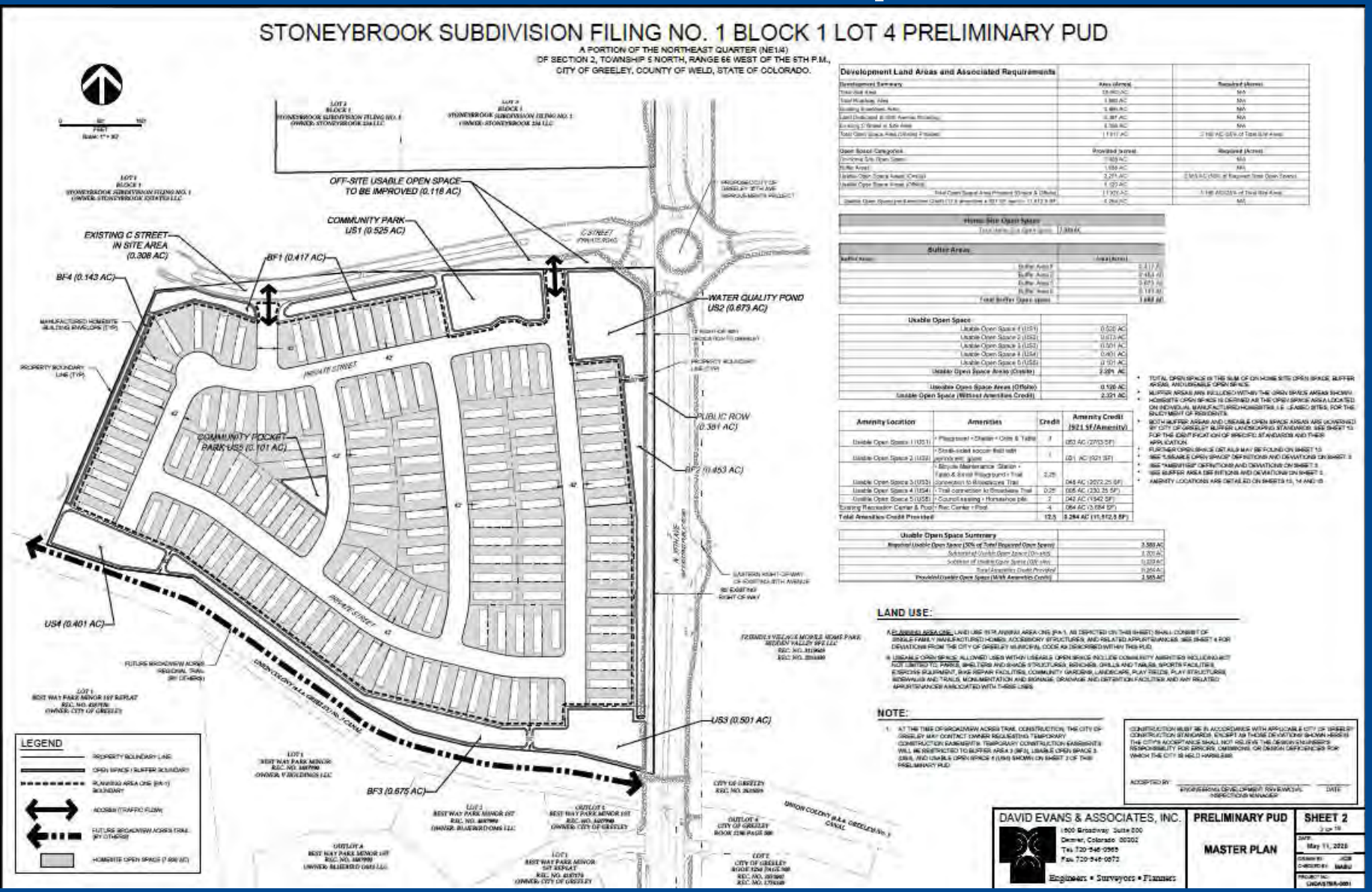
Site Photos

Proposed Rezone



- **Approximately 20.7 acres**
- **R-H to PUD**

Proposed Preliminary PUD



- **Approximately 142 mobile home sites**

Administrative Review Team

- **Hazards**
- **Wildlife**
- **Floodplain**
- **Drainage & Erosion**
- **Transportation**
- **Water**
- **Sewer**
- **Emergency Services**
- **Parks, Trails, and Open Space**
- **Schools**
- **Visual Impacts**
- **Noise Impacts**

Rezone Criteria

	§18.30.050
✚	a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?
✚	b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?
N/A	c. Are there clerical or technical errors to correct?
N/A	d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

City of Greeley Colorado

Rezone Criteria

	§18.30.050
	e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?
	f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?
	g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?
	h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

Greeley Colorado

PUD Criteria

	§18.30.050
✚	**i. The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.**
✚	**j. PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.**

City of Greeley Colorado

Notice

Notice mailed to landowners within 500 feet.

Two signs posted on the site.

Notice sent to mineral owner.

No public inquiries received.

Recommendation

Planning Commission recommends approval of the Rezone (ZON2020-0008) and Preliminary PUD (PUD2019-0004).

Two motions required (rezoning)

One motion required (preliminary PUD)

Council Agenda Summary

August 4, 2020

Agenda Item Number 17

Key Staff Contact: Roy Otto, City Manager, 970-350-9750

Title:
COVID-19 Update

Summary:
There will be a brief update to Council regarding COVID-19.

Council Agenda Summary

August 4, 2020

Agenda Item Number 18

Title
Scheduling of Meetings, Other Events

Summary
During this portion of the meeting the City Manager or City Council may review the attached Council Calendar or Worksession Schedule regarding any upcoming meetings or events.

Attachments
Council Meeting/Worksession Schedule
Council Meetings/Other Events Calendar

City Council Meeting Scheduling			
	Current as of 7/31/2020		
	This schedule is subject to change		
Date	**Description**	**Sponsor**	**Placement/Time**
August 11, 2020 Worksession Meeting	Planning Commission Interviews	Cheryl Aragon	0.50
	COVID-19 Update	Roy Otto	0.25
	Discussion of Development Impact Fees	Robert Miller	1.00
	Legal Primer of CORA and Legal Representation	Cheryl Aragon/Doug Marek	
	Executive Session - Fire Negotiations	Maria Gonzales-Estevez	
August 18, 2020 Council Meeting	Resolution - Northeast All Hazards Region 2020 Grant Award	Robert Miller	Consent
	Resolution - IGA with Weld County for the Coordinated Election	Cheryl Aragon	Consent
	Private Activity Bonds Allocation	Ben Snow	Consent
	Ordinance - Intro - Ballot Measures for Tax Renewals	Robert Miller	Consent
	Ordinance - Intro - Ratification of the Fire Collective Bargaining Agreement	Maria Gonzales-Estevez	Consent
	Appointment/Resolution - Subcommittee to Discuss Evaluation of Employees that Report to Council	Maria Gonzales-Estevez	Consent
	COVID-19 Update (non-action)	Roy Otto	Regular
	Ordinance - Final - Marketplace Rezone	Brad Mueller	Regular
	Boards & Commissions Appointments	Cheryl Aragon	Regular
August 25, 2020 Worksession Meeting	COVID-19 Update	Roy Otto	0.25
	Resource Overview for the 2021 Budget & 2021-2025 Capital Improvement Program	Robert Miller	1.00
	Municipal Code Recodification - Review of Changes	Cheryl Aragon	0.50
September 1, 2020 Council Meeting	Resolution - Ballot Ratification	Cheryl Aragon	Consent
	Ordinance - Intro - Development Impact Fees	Robert Miller	Consent
	Ordinance - Intro - Third Additional Appropriation	Robert Miller	Consent
	Ordinance - Intro - Municipal Code Recodification	Cheryl Aragon	Consent
	COVID-19 Update (non-action)	Roy Otto	Regular
	Ordinance - Final - Ratification of the Fire Collective Bargaining Agreement	Maria Gonzales-Estevez	Regular
	Ordinance - Final - Ballot Measures for Tax Renewals	Robert Miller	Regular
September 8, 2020 Worksession Meeting	COVID-19 Update	Roy Otto	0.25
	Budget Operation	Robert Miller	1.50
	Economic Development Talent Development	Ben Snow	0.25
September 15, 2020 Council Meeting	COVID-19 Update (non-action)	Roy Otto	Regular
	Ordinance - Final - Development Impact Fees	Robert Miller	Regular
	Ordinance - Final - Third Additional Appropriation	Robert Miller	Regular
	Ordinance - Final - Municipal Code Recodification	Cheryl Aragon	Regular
	Boards & Commissions Appointments	Cheryl Aragon	Regular
September 22, 2020 Worksession Meeting	Business Attraction/Target Industries	Ben Snow	0.50
	EMS Task Force Ambulance Report (Tentative)	Dale Lyman	1.00
	Budget	Robert Miller	1.50

August 3, 2020 - August 9, 2020

August 2020

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September 2020

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Monday, August 3

Tuesday, August 4

6:00pm - City Council Meeting (Council's Chambers, 1001 11th Avenue)

Wednesday, August 5

Thursday, August 6

7:00am - Poudre River Trail (Hall)

3:30pm - IG Adv. Board (Butler)

6:00pm - MPO (Gates/Payton)

Friday, August 7

Saturday, August 8

Sunday, August 9

August 10, 2020 - August 16, 2020

August 2020

Su	Mo	Tu	We	Th	Fr	Sa
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September 2020

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Monday, August 10

Tuesday, August 11

6:00pm - 9:00pm City Council Worksession
(https://zoom.us/j/332065143) - Jessica Diagana

Wednesday, August 12

Thursday, August 13

Friday, August 14

Saturday, August 15

Sunday, August 16

August 17, 2020 - August 23, 2020

August 2020

Su	Mo	Tu	We	Th	Fr	Sa
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September 2020

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Monday, August 17

Tuesday, August 18

6:00pm - City Council Meeting (Council's Chambers, 1001 11th Avenue)

Wednesday, August 19

2:00pm - 5:00pm Water & Sewer Board (Gates)

Thursday, August 20

7:30am - 8:30am DDA (Zasada/Butler)

3:30pm - 4:30pm Airport Authority (Clark/Payton)

Friday, August 21

Saturday, August 22

Sunday, August 23

August 24, 2020 - August 30, 2020

August 2020

Su	Mo	Tu	We	Th	Fr	Sa
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September 2020

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Monday, August 24

11:30am - 12:30pm Greeley Chamber of Commerce (Hall)

6:00pm - 7:00pm Youth Commission (Butler)

Tuesday, August 25

9:00am CML Virtual Conference (Anywhere!) - Council Master Calendar

6:00pm - 9:00pm City Council Worksession (https://zoom.us/j/508162666) - Jessica Diagana

Wednesday, August 26

← **CML Virtual Conference** (Anywhere!) - Council Master Calendar →

7:00am - 8:00am Upstate Colorado Economic Development (Gates/Hall) (Upstate Colorado Conference Room) - Council Master Calendar

Thursday, August 27

← **1:00pm CML Virtual Conference** (Anywhere!) - Council Master Calendar

Friday, August 28

Saturday, August 29

Sunday, August 30

August 31, 2020 - September 6, 2020

August 2020

Su	Mo	Tu	We	Th	Fr	Sa
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16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

September 2020

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13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

Monday, August 31

Tuesday, September 1

6:00pm - City Council Meeting (Council's Chambers, 1001 11th Avenue)

Wednesday, September 2

Thursday, September 3

7:00am - Poudre River Trail (Hall)

3:30pm - IG Adv. Board (Butler)

6:00pm - MPO (Gates/Payton)

Friday, September 4

Saturday, September 5

Sunday, September 6

Council Agenda Summary

August 4, 2020

Agenda Item Number 19

Title

Consideration of a motion authorizing the City Attorney to prepare any required resolutions, agreements, and ordinances to reflect action taken by the City Council at this meeting and at any previous meetings, and authorizing the Mayor and City Clerk to sign all such resolutions, agreements and ordinances

Council's Recommended Action

A motion to approve the above authorizations.

Council Agenda Summary

August 4, 2020

Agenda Item Number 20

Title
Adjournment